

Date: 08.07.2025

To,

**The Member Secretary, Regional Office,
Maharashtra Pollution Control Board,
Kalpataru Point, 1st floor, In front of Cine Planate Theater,
Sion Circle, Shiv (East), Mumbai - 400 022. Maharashtra.**

Subject : Submission of six-monthly compliance status report as per terms & conditions stipulated in Environmental Clearance letter for the proposed 'Slum Rehabilitation Scheme,' at CTS no. 16/A/2 of Village: Malad (East), Mumbai. Maharashtra.'

Ref. No. : Environment Clearance no. SIA/MH/MIS/242517/2021, dated: 18/08/2022.

Respected Sir / Madam,

In reference to the above referred letter of your highly revered office we would like to submit the current status of our construction work and point-wise compliance status to various stipulations in its clearance letter no. **SIA/MH/MIS/242517/2021, dated: 18/08/2022** along with the necessary annexure.

This compliance report is submitted for the period from **October 2024 to March 2025**.

This is for your kind consideration and records. Kindly acknowledge the same.

Thanking You,

With warm regards,

For, **Satellite Developers Pvt. Ltd.**


Authorized Signatory



**Encl : Part A: Current status of construction work.
Part B: Point-wise compliance status.
Datasheet & Annexures.**

Copy to: Regional Office, MoEF & CC, Nagpur.
Department of Environment, Mantralaya, Mumbai.
Regional Office, CPCB, Pune.

Date: 08.07.2025

To,

The Member Secretary,
State Environment Impact Assessment Authority (SEIAA),
Department of Environment, Government of Maharashtra,
217, 2nd Floor, Mantralaya Annex Building, Madam Cama Road,
Mantralaya, Mumbai – 400 032. Maharashtra

Subject : Submission of six-monthly compliance status report as per terms & conditions stipulated in Environmental Clearance letter for the proposed 'Slum Rehabilitation Scheme,' at CTS no. 16/A/2 of Village: Malad (East), Mumbai. Maharashtra.'

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Regional Office, CPCB, Pune.

Date: 08.07.2025

To,

**Regional Directorate, Pune, Central Pollution Control Board,
(Ministry of Environment, Forest & Climate Change), Govt. of India,
Survey no. 110, Dhankude Multipurpose Hall,
Baner Road, Baner, Pune – 411 045. Maharashtra.**

**Subject : Submission of six-monthly compliance status report as per terms & conditions stipulated
in Environmental Clearance letter for the proposed 'Slum Rehabilitation Scheme,' at CTS
no. 16/A/2 of Village: Malad (East), Mumbai. Maharashtra.'**

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Copy to Regional Office, MPCB, Sion, Mumbai.
Department of Environment, Mantralaya, Mumbai.
Regional Office, MoEF & CC, Nagpur.

Date: 08.07.2025

To,

**Ministry of Environment, Forests & Climate Change,
Integrated Regional Offices,**

Ground Floor, East Wing, New Secretariat Building,
Civil Lines, Nagpur – 440 001. Maharashtra.

Subject : Submission of six-monthly compliance status report as per terms & conditions stipulated in Environmental Clearance letter for the proposed 'Slum Rehabilitation Scheme,' at CTS no. 16/A/2 of Village: Malad (East), Mumbai. Maharashtra.'

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: PART A:

Current Status of Work

Current status of construction work		:	❖ Total construction completed as on March 2025 is 45,230.00 Sq. meters out of total BUA of 64,719.50 Sq.mt. ❖ Completed building: Wing C, D, E, F ❖ Under construction building: Wing: A, B,G, H & Rehab ❖ (As per orders from Hon. High Court, Mumbai and Circular dated 17/01/2014 by Government of Maharashtra redevelopment projects wherein Rehabilitation of tenants in Slum Rehabilitation Authority (SRA) / dilapidated / Cess building is involved, construction below 20,000 Sq. meters is permissible hence, started the work before Environmental clearance & consent to establish) ❖ Architect Certificate stating Construction done onsite as on 16.06.2022 as per earlier EC dated: 26.03.2020. ❖ Please refer Annexure – 1 for Architect Certificate.
a.	Date of commencement (Actual and/or planned)	:	❖ Rehab Building: 06/12/2017 (Actual) ❖ Sale Building: 30/01/2018 (Actual)
b.	Date of completion (Actual and/or planned)	:	❖ January 2026 (Planned)

: PART B:

Compliance status of conditions stipulated in Environment clearance for proposed ‘Slum Rehabilitation Scheme at CTS no. 16/A/2 of village Malad (East), Mumbai granted by SEIAA, Govt. of Maharashtra vide letter no. SEIAA-EC-0000000608, dated: 15/01/2019 further amendment and expansion in EC vide letter no. SEIAA-EC-0000002250, dated: 26/03/2020, further expansion in EC vide letter no. SIA/MH/MIS/242517/2021, dated: 18/08/2022 are as follows;

I. No.	Stipulated clearance conditions	Compliance status
A. SEAC condition -		
i.	PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions thereunder as per the circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra	❖ Slum Rehabilitation Authority issued revised Letter of Intent (LOI) vide letter no. SRA/ENG/2931/PN/PL/LOI, dated: 28/11/2019. And revised LOI as per wing G, dated: 02.01.2025 ❖ Please refer Annexure – 2 for Revised LOI ❖ Undertaking stating breakup of commensurate NON FSI area is attached. ❖ Please refer Annexure – 3 for Undertaking for NON FSI

ii.	PP to obtain & submit following NOCs as per latest amended plan: a) Sewer Connection; b) SWD NOC.	<u>Sewer Connection:</u> ❖ Municipal Corporation of Greater Mumbai issued sewerage remarks vide letter no. Dy.Ch/E/S.P/213/P/N/P&D, dated: 28/05/2018. ❖ Please refer Annexure – 4 for Sewerage remarks ❖ SRA issued drainage approval for rehab building no.1 vide letter no. SRA/ENG/Desk-2/9769/PN/2018, dated: 01/03/2018. ❖ SRA issued drainage approval sale building vide letter no. PN/PVT/0183/20170602/AP, dated: 02/04/2018. ❖ Please refer Annexure – 5 for drainage approval rehab & sale. ❖ SRA issued part drainage completion certificate for rehab building vide letter no. PN/PVT/0183/20170602/AP, dated: 09/11/2020. ❖ Please refer Annexure – 6 for drainage completion certificate for rehab.
		❖ Received drainage remarks for sale building 1 from authorized plumbing consultant under Ease of doing business as per amended plan. ❖ Please refer Annexure – 7 for drainage remarks from plumbing consultant. <u>SWD NOC</u> ❖ MCGM issued SWD Remark for the project vide letter no. Dy.Ch. E/549/SWD/WS, dated: 06/03/2018. ❖ Received SWD remarks for sale building 1 from authorized plumbing consultant under Ease of doing business as per amended plan. ❖ Please refer Annexure – 8.2 for SWD Remark & SWD remark Plumbing consultant.

iii.	PP to submit certified six-monthly compliance report of earlier EC from Regional Office, MOEF&CC, Nagpur.	❖ We have submitted request letter for site inspection visit to Regional Office, MOEF & CC, Nagpur for site visit. Copy of the request letter is attached date: 18.02.2022, 21.03.2024 Now site visit of Regional Officer, MOEF & CC is awaited. ❖ We will submit certified six-monthly compliance report to your good office after receipt of the same. ❖ Please refer Annexure – 9 for Request letter for site visit & undertaking for six monthly compliance.
iv.	PP to reduce discharge of treated sewage up to 35%. PP to submit undertaking from concerned authority/agency/third party regarding use of excess treated water.	❖ We would like to mention here that during operation of this project the total treated sewage available for reuse will be 563 KLD ❖ Recycling of treated sewage shall be done for gardening (7 KLD) and flushing (241 KLD) within site which will help to reduce the quantity of treated sewage to the tune of 56% (315 KLD). ❖ In addition to reuse of treated sewage on site the treated sewage i.e. 118 KLD shall be given to tanker water supplier which will used for nearby construction activities which will further help to reduce the quantity of treated sewage to the tune of 35% (197 KLD). ❖ Please refer Annexure – 10 for Undertaking regarding reuse of treated sewage.
		❖ We have also submitted application to Assistant Municipal Corporation, PIN ward, Libartee Garden, Malad. ❖ Please refer Annexure – 11 for Letter to municipal commissioner. ❖ We have also received the consent from tanker water supplier agency named as Maharashtra Fresh Water Suppliers and same is attached. ❖ Please refer Annexure – 12 for Consent from tanker water supplier.

v.	PP to relocate parking shown over Rehab STP.	❖ STP of this Rehab building is already constructed and operational on site as approved in earlier EC. The slab is on STP top where there is a gap of 2 mt between STP top slab & stilt bottom slab, hence please note that the parking provision is not directly on the top of STP. Section showing the same is attached. ❖ Please refer Annexure – 13 for STP section
B. SEIAA Conditions-		
i.	PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.	❖ Agreed to comply with.
ii.	PP to achieve at least 5% of total energy requirement from solar/other renewable sources	❖ Noted.
iii.	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	❖ Noted.
iv.	SEIAA after deliberation decided to grant EC for- FSI-39099.11 m ² , Non FSI- 25620.39 m ² and total BUA-64719.50 m ² . (Plan approval No. SRA/ENG/2931/PN/PL/LOI, dated-28.11.2019).	❖ Noted.
General Conditions: Construction phase		
i.	The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed-off to the approved sites for land filling after recovering recyclable material.	❖ Excavation material (8921 cum) has been partly reused on site for backfilling and leveling and remaining disposed to authorized landfill site. ❖ Further excavation material (9753 cum) has been partly reused on site and partly disposed to authorized landfill site as per permission received from Office of The Additional Collector Mumbai Suburban District issued Excavation Permission for the project vide letter no. AC/DESK-IV/MNL/SR-516/2017-18, dated: 08/12/2017, 30/06/2021. ❖ Please refer Annexure – 14 for Excavation Permission. ❖ Demolition debris generated during demolition of slums was partly reused on

		site and remaining disposed to authorized landfill site as per permission received from Solid Waste Management Department of M.C.G.M. dt. 12.12.2017 and 02.02.2018. ❖ Please refer Annexure – 15 for Debris NOC.
ii.	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	❖ Excavation material (8921 cum) has been partly reused on site for backfilling and leveling and remaining disposed to authorized landfill site. ❖ Further excavation material (9753 cum) has been partly reused on site and partly disposed to authorized landfill site as per permission received from Office of The Additional Collector Mumbai Suburban District issued Excavation Permission for the project vide letter no. AC/DESK-IV/MNL/SR-516/2017-18, dated: 08/12/2017, 30/06/2021. ❖ Demolition debris generated during demolition of slums was partly reused on site and remaining disposed to authorized landfill site as per permission received from Solid Waste Management Department of M.C.G.M. dt. 12.12.2017 and 02.02.2018.
iii.	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the MPCB.	❖ No generation of hazardous waste during construction.
iv.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	❖ All necessary facilities have been provided on site for the construction workers. ❖ 58 nos of temporary hutment are provided for 100 nos of residential workers, also 50 nos of non-residential workers are working on site. ❖ Site sanitation like safe & adequate Municipal water for drinking and domestic purpose, 10 nos of toilet for workers with septic tank, 5 nos of bathroom and periodical medical checkup facilities have been provided. ❖ Proper housekeeping & regular pest control have been carried out
v.	Arrangement shall be made that waste water and storm water do not get mixed.	❖ Separate SWD for occupied (Rehab) building has been provided.

		❖ 1 STP (225 KLD) of Rehab building is already constructed and operational on site ❖ Provision of STP capacity 200 KL for sale building 1 & STP installed for sale building 2 capacity of 500 KL is operational on site. ❖ Please refer Annexure – 8.1 for STP hand over letter. ❖ Separate SWD drains will be provided for proposed sale building. ❖ MCGM issued SWD Remark for the project vide letter no. Dy.Ch. E/549/SWD/WS, dated: 06/03/2018. ❖ Please refer Annexure – 8.2 for SWD Remark. ❖ Minimizing the incremental runoff from the site with the help of 3 Rain water harvesting tank of total capacity 185 KL.
vi.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.	❖ Ready mixed concrete is being used for building construction.
vii.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	❖ Groundwater accumulation was monitored in boreholes during and after completion of drilling activities. Groundwater was observed at depths 8.8 meters below ground surface in the boreholes. Seasonal and annual fluctuations in ground water levels can be expected to occur. ❖ No extraction of ground water. ❖ Soil quality is being monitored. ❖ Please refer Annexure -16 for Monitoring Report.
viii.	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project	❖ No extraction of ground water for construction purpose also we are not planning to withdraw ground water for any purpose in future, hence permission from CGWA is not applicable.
ix.	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	❖ Low flow fixtures have been provided for Occupied (Rahab and C & D wing of sale building 2) & same will be provided for proposed building.
x.	The Energy Conservation Building code shall be strictly adhered to.	❖ Noted.
xi.	All the topsoil excavated during construction activities should be stored for use in horticulture /	❖ No top soil was generated as this is a Redevelopment project.

	landscape development within the project site.	
xii.	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	❖ Excavation material (8921 cum) has been partly reused on site for backfilling and leveling and remaining disposed to authorized landfill site. ❖ Further excavation material (9753 cum) has been partly reused on site and partly disposed to authorized landfill site as per permission received from Office of The Additional Collector Mumbai Suburban District issued Excavation Permission for the project vide letter no. AC/DESK-IV/MNL/SR-516/2017-18, dated: 08/12/2017, 30/06/2021. ❖ Demolition debris generated during demolition of slums was partly reused on site and remaining disposed to authorized landfill site as per permission received from Solid Waste Management Department of M.C.G.M. dt. 12.12.2017 and 02.02.2018
xiii.	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	❖ Groundwater accumulation was monitored in boreholes during and after completion of drilling activities. Groundwater was observed at depths 8.8 meters below ground surface in the boreholes. Seasonal and annual fluctuations in ground water levels can be expected to occur. ❖ No extraction of ground water. ❖ Soil quality is being monitored. ❖ Please refer Annexure - 16 for Monitoring Report.
xiv.	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.	❖ Noted.
xv.	The diesel generator sets to be used during construction phase should be low Sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.	❖ No use of DG sets during construction.
xvi.	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment	❖ Noted.

	Clearance.					
xvii.	Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.	❖ Vehicles with valid PUC are allowed during construction to enter the site. ❖ Vehicles are operated only during non-peak hours.				
xviii.	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.	❖ Ambient Air & Ambient Noise level is being monitored. ❖ Please refer Annexure - 16 for Monitoring Report.				
xix.	Diesel power generating sets proposed as source of backup power for elevators and common area Illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low Sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.	❖ Provision of CPCB approved enclosed D.G. sets. ❖ Following DG set installed at Rehab & Sale building.<table><tr><td>Rehab building</td><td>1 no 320 kVA</td></tr><tr><td>Sale building 1</td><td>1 no 400 kVA</td></tr></table>	Rehab building	1 no 320 kVA	Sale building 1	1 no 400 kVA
Rehab building	1 no 320 kVA					
Sale building 1	1 no 400 kVA					
xx.	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.	❖ Regular supervision of the above measures is being monitored by Project Manager.				
General Conditions: Operation phase						
i.	a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	❖ Proper segregation of biodegradable and Non-biodegradable waste on site. ❖ Biodegradable waste will be treated in organic waste converter. ❖ Non-biodegradable waste will be handed over to authorized recycler. ❖ Treated waste (manure) will be utilized in the existing premises for gardening. ❖ Provision of adequate space for solid waste management.				
ii.	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.	❖ Since this is a residential project, E-waste will be negligible. We shall dispose through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.				

iii.	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the Odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50% of water, Local authority should ensure this.	❖ 1 STP (225 KLD) of Rehab building is already constructed and operational on site. ❖ Provision of STP capacity 200 KL for sale building 1 & STP installed for sale building 2 capacity of 500 KL is operational on site. ❖ Please refer Annexure – 8.1 for STP hand over letter ❖ Treated sewage of occupied building is being used for flushing and gardening.
iv.	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.	❖ 1 STP (225 KLD) of Rehab building is already constructed and operational on site. ❖ Provision of STP capacity 200 KL for sale building 1 & STP installed for sale building 2 capacity of 500 KL is operational on site. ❖ Please refer Annexure – 8.1 for STP hand over letter ❖ Treated sewage of occupied building is being used for flushing and gardening. ❖ OWC have been provided for treatment of biodegradable waste. ❖ Green belt area will be developed over an area 1484.28 sq.mt. ❖ MCGM, (Hydraulic Department) issued HE NOC for the Rehab Building vide letter no. HE/793/EEWW(P&R)/NOC, dated: 15.02.2020 and for Sale Building no. 2 vide letter no. HE/540/EEWW(P&R)/NOC, dated: 26/03/2021 & for Sale building no.1 Vide letter no. HE/298/EEWW (P & R)/NOC, dated: 18/01/2022. ❖ Please refer Annexure – 17 for Water NOC ❖ SRA issued Part Occupation certificate for Rehab building vide letter no. PN/PVT/0183/20170602/AP, dated;

		20/01/2021. ❖ SRA issued Full Occupation certificate for wing C & D of sale building 2 vide letter no. PN/PVT/0183/20170602/AP, dated: 27/03/2023. ❖ SRA issued Full Occupation certificate for wing E & F of sale building 2 vide letter no. PN/PVT/0183/20170602/AP, dated: 20/10/2023 ❖ Please refer Annexure – 18 for Occupancy Certificate. ❖ MPCB issued consent to operate part 1 for project vide letter no. Format1.0/JD(WPAE)/UAN No. 0000103359/CO-2105000704, dated: 17/05/2021. ❖ MPCB issued consent to operate part 2 for project vide letter no. Format1.0/UAN No. 0000181739/CO/2401002264 dated: 22/01/2024 ❖ Please refer Annexure – 19 for Consent to operate copy.
v.	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.	❖ MCGM, (Hydraulic Department) issued HE NOC for Rehab Building vide letter no. HE/793/EEWW(P&R)/NOC, dated: 15/02/2020 and for Sale Building no. 2 vide letter no. HE/540/EEWW (P&R)/NOC, dated: 26/03/2021 & for Sale building no.1 Vide letter no. HE/298/EEWW (P & R)/NOC, dated: 18/01/2022. ❖ Slum Rehabilitation Authority issued Part Occupation certificate for Rehab building vide letter no. PN/PVT/0183/20170602/AP, dated; 20/01/2021. ❖ SRA issued Full Occupation certificate for wing C & D of sale building 2 vide letter no. PN/PVT/0183/20170602/AP, dated: 27/03/2023. ❖ SRA issued Full Occupation certificate for wing E & F of sale building 2 vide letter no. PN/PVT/0183/20170602/AP, dated: 20/10/2023.
vi.	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully	❖ Public road and public areas are not being used for project activity purpose and are free for smooth traffic movement.

	internalized and no public space should be utilized.	❖ Provision has been made for adequate parking facilities within the project for construction vehicles & personal vehicles.
vii.	PP to provide adequate electric charging points for electric vehicles (EVs).	❖ Provision of 25% of 4-wheeler and 2-wheeler of E charging points.
viii.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/Agriculture Dept.	❖ Green belt will be developed considering CPCB guidelines. ❖ Green belt area will be developed over an area 1484.28 sq.mt.
ix.	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	❖ A separate Environment management cell with qualified staff has been appointed under supervision of Project Manager. ❖ Environmental quality is being monitored through external MoEF & CC approved laboratory.
x.	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. This cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.	Separate funds have been allocated for implementation of Environmental protection measures; During construction phase; ❖ Rs. 79.13 Lakhs have been allocated for the entire construction period. During operation phase; ❖ Capital cost: Rs. 382.44 Lakhs & ❖ O & M cost: Rs. 65.92 Lakhs/annum.
xi.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in	❖ Noted.
xii.	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1 st June & 1 st December of each calendar year.	Submitting six monthly compliance status reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Pune. ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.
xiii.	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The	❖ Environment clearance copy submitted to MCGM.

	clearance letter shall also be put on the website of the Company by the proponent.	
xiv.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company.	Uploaded copy of EC, Compliance report, Environment statement on the company website https://techbytestudio.com/group-satellite/compliance .
General Conditions: EC condition		
i.	PP has to abide by the conditions stipulated by SEAC & SEIAA.	❖ Agreed to comply with.
ii.	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.	❖ MPCB granted consent to establish for the Project vide order no. Format 1.0/BO/JD (WPC)/UAN No. 66999/CE/CC-190500 0751, dated: 14/05/2019. ❖ Application for expansion in CTE vide UAN no. 00000183982, dated: 12/10/2023. ❖ Please refer Annexure - 20 for Consent to Establish.
iii.	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	❖ Obtained Environment clearance from SEIAA, Govt. of Maharashtra vide letter no. SEIAA-EC-0000000608, dated: 15/01/2019 further Amendment and Expansion in EC vide letter no. SEIAA-EC-0000002250, dated: 26/03/2020. ❖ Further Expansion in EC vide letter no. SIA/MH/MIS/242517/2021, dated: 18/08/2022. ❖ Please refer Annexure - 21 for Environmental Clearance.
iv.	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and	Submitting six monthly compliance status reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Pune. ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.

	the SPCB.	
v.	The environmental statement for each financial year ending 31 st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional offices of MoEF by e-mail.	❖ Submitted Environment statement (Form – V) on MPCB web portal for FY 2023-24.
vi.	No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.	❖ Noted.
vii.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily imply that Forestry & Wild life clearance granted to the project which will be considered separately on merit.	❖ NOC from Wild Life Board is Not Applicable as per Final Notification reg. ESZ of SGNP published by MoEF & CC u/no. S.O.3645 (E), dated: 05/12/2016. As our project site is not affected by the ESZ belt.
4	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him. If any or action initiated under EP Act.	❖ Noted.
5	This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.	❖ Noted.

6	In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.	❖ Noted.
7	Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF & CC Notification dated 29 th April, 2015.	❖ Noted.
8	The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.	❖ Noted.
9	Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	❖ Noted.

Compliance as per
Monitoring the Implementation of Environmental Safeguards

Ministry of Environment, Forests & Climate Change

Regional Office (WCZ), Nagpur

Monitoring Report

DATA SHEET

1.	Project type: River - valley/ Mining / Industry / Thermal / Nuclear / Other (specify)		:	Construction Project.
2.	Name of the project		:	Proposed 'Aarambh', Slum Rehabilitation Scheme at CTS no. 16/A/2 of village Malad (East), Mumbai. Maharashtra.
3.	Clearance letter (s)/OM No. and Date		:	❖ Obtained Environment clearance from SEIAA, Govt. of Maharashtra vide letter no. SEIAA-EC-0000000608, dated: 15/01/2019 ❖ Further Amendment and expansion in EC vide letter no. SEIAA-EC-0000002250, dated: 26/03/2020. ❖ Further expansion in EC vide letter no. SIA/MH/MIS/242517/2021, dated: 18/08/2022
4.	Location			
	a.	District (S)	:	Mumbai Suburban
	b.	State (s)	:	Maharashtra.
	c.	Latitude/ Longitude	:	Latitude- 19 ⁰ 11'29.46" N Longitude- 72 ⁰ 52'1.40" E
5.	Address for correspondence		:	Mr. Alpesh Gandhi, (General Manager) Building no. 14, 7 th floor, Solitaire Corporate Park, Andheri - Ghatkopar Road, Chakala, Andheri (East), Mumbai - 400 093.
	a.	Address of Concerned Project Chief Engineer (with pin code & Telephone / telex / fax numbers)	:	Mr. Balram Shendkar, (Project Manager) 'Aarambh', CTS no. 16A (pt.), 16A/1 to 2 & 17, Behind Nutan School, Shivaji Nagar, Village Malad (East), Tal. Borivali, Mumbai.
	b.	Address of Executive Project: Engineer/Manager (with pin code/ Fax numbers)	:	Mr. AfzalSiddiqui, (Project Engineer) 'Aarambh', CTS no. 16A (pt.), 16A/1 to 2 & 17, Behind Nutan School, Shivaji Nagar, Village Malad (East), Tal. Borivali, Mumbai.
6.	Salient features			
	a.	of the project	:	Building Configuration :

				Rehab Building	Stilt + 22 floors.
				Sale Building no.1 Wing G	Basement (Underground services) + Stilt + 21 floors.
				Sale Building no. 2(Wing A&B)	Stilt/Ground + 18 floors each
				Sale Building no. 2 Wing C	Stilt/Ground + 18 floors
				Sale Building no. 2 (Wing D,E,F)	Stilt/ Ground + 18 floors each
				Club House	Ground + 1 st floor
				Parking Tower	15 Level parking
		b.	of the environmental management plans	:	Separate funds have been allocated for implementation of Environmental protection measures; During construction phase; ❖ Rs. 79.13 Lakhs have been allocated for the entire construction period. During operation phase; ❖ Capital cost: Rs. 382.44 Lakhs & ❖ O & M cost: Rs. 65.92 Lakhs/ annum.
7.	Breakup of the project area				
	a.	submergence area forest & non-forest	:	Not applicable.	
	b.	Others	:	❖ FSI: 39,171.45 Sq. meters (including fungible area) ❖ Non-FSI: 25,548.05 Sq. meters & ❖ Total construction BUA area: 64,719.50 Sq. Meters.	
8.	Breakup of the project affected Population with enumeration of Those losing houses / dwelling units Only agricultural land only, both Dwelling units & agricultural Land & landless laborer's/artisan			:	Not Applicable.
	a.	SC, ST/Adivasis	:	Not Applicable.	
	b.	Others (Please indicate whether these Figures are based on any scientific and systematic survey carried out or only provisional figures, it a Survey is carried out give details and years of survey)	:	Not Applicable.	
9.	Financial details				

	a.	Project cost as originally planned and subsequent revised estimates and the year of price reference:		
	1.	Total Cost of the Project	:	Rs. 414.82 Cr.
	b.	Allocation made for environmental management plans with item wise and year wise Break-up.	:	Separate funds have been allocated for implementation of Environmental protection measures; During construction phase; ❖ Rs. 79.13 Lakhs have been allocated for the entire construction period. During operation phase; ❖ Capital cost: Rs. 382.44 Lakhs & ❖ O & M cost: Rs. 65.92 Lakhs/annum.
	c.	Benefit cost ratio/Internal rate of Return and the year of assessment	:	--
	d.	Whether (c) includes the Cost of environmental management as shown in the above.	:	--
	e.	Actual expenditure incurred on the project so far	:	Rs 352.19 Cr
	f.	Actual expenditure incurred on the environmental management plans so far.	:	Rs. 2.48 Cr
10.	Forest land requirement			
	a.	The status of approval for diversion of forest land for non-forestry use	:	Not Applicable.
	b.	The status of clearing felling	:	Not Applicable.
	c.	The status of compensatory afforestation, if any	:	Not Applicable.
	d.	Comments on the viability & sustainability of compensatory afforestation program in the light of actual field experience so far.	:	Not Applicable.
11.	The status of clear felling in non-forest areas (such as submergence area of reservoir, approach roads), if any with quantitative information.		:	Not Applicable.
12.	Status of construction		:	❖ Total construction completed as on March 2025 is 45,230.00 Sq. meters out of total BUA of 64,719.50 Sq.mt. ❖ Completed building: Wing C, D, E, F ❖ Under construction building: Wing: A, B, G, H & Rehab ❖ (As per orders from Hon. High Court, Mumbai and Circular dated 17/01/2014 by

			Government of Maharashtra redevelopment projects wherein Rehabilitation of tenants in Slum Rehabilitation Authority (SRA) / dilapidated / Cess building is involved, construction below 20,000 Sq. meters is permissible hence, started the work before Environmental clearance & consent to establish) ❖ Architect Certificate stating Construction done onsite as on 16.06.2022 as per earlier EC dated: 26.03.2020. ❖ Please refer Annexure – 1 for Architect Certificate.
	a.	Date of commencement (Actual and/or planned)	: ❖ Rehab Building: 06/12/2017 (Actual)
	b.	Date of completion (Actual and/or planned)	: ❖ Sale Building: 30/01/2018 (Actual)
			: ❖ January 2026 (Planned)
13.	Reasons for the delay if the Project is yet to start		: Not Applicable
14	Dates of site visits		
	a.	The dates on which the project was monitored by the Regional Office on previous Occasions, if any.	: --
	b.	Date of site visit for this monitoring report.	: --
15.	Details of correspondence with Project authorities for obtaining Action plans/information on Status of compliance to safeguards Other than the routine letters for Logistic support for site visits) (The first monitoring report may contain the details of all the Letters issued so far, but the Later reports may cover only the Letters issued subsequently.		: --

Date: 16.06.2022

To,
Member Secretary,
State Level Expert Appraisal Committee - 2 (SEAC - 2),
16th Floor, New Administration Building
Environment Department, Mantralaya,
Mumbai, Maharashtra.

Subject: Submission of Undertaking for constructed built-up area on site for Slum Rehabilitation Scheme on plot bearing C.T.S. No. 16W/2, Village: Malad, Tehsil: Borivli, District: Mumbai Suburban, State: Maharashtra, India.

Respected Sir,

I hereby certify that construction carried out on the ground is date by M/s. Satellite Developers Private Limited is 33,444.66 Sq.mt. and which is within approved Built-up area of earlier Environmental Clearance (EC) dated 26.03.2020.

I certify that there is no change in foot print area vis-à-vis earlier EC dated 26.03.2020.

I also certify that the building configuration and plinth of the building completed on ground is in accordance with earlier Environmental Clearance (EC) dated 26.03.2020.

Breakup of the constructed built up areas alongwith building configuration is given as Annexure A.

Thanking you,
Yours Faithfully,
For Sandep Shiro & Associates

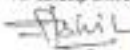


Paritaj Palshikar
Principal
Registration No.: CA / 98 / 22945

As per Environment Clearance (EC) dated 26.03.2020				Seeking Expansion in EC				As per constructed on site			
Building Configuration	FSI area (Sq.m.)	Non FSI area (Sq.m.)	Construction area (Sq.m.)	Building Configuration	FSI area (Sq.m.)	Non FSI area (Sq.m.)	Construction area (Sq.m.)	Building Configuration	FSI area (Sq.m.)	Non FSI area (Sq.m.)	Construction area (Sq.m.)
Rehabilitation Building: Silt + 22 floors	9,816.41	5,492.45	15,308.86	Rehabilitation Building: Silt + 22 floors	9,816.41	5,492.45	15,308.86	Silt + 20 floors	8,432.53	5,337.42	14,769.95
Sale Building 1: Wing G & H Basement + Silt + 1 st to 17 th flrs + 18 th (P1) flr	10,331.33	5,395.89	15,727.22	Sale Building 1: Wing G Basement + Silt + 1 st to 21 st flrs	10,325.12	5,100.79	15,425.91	-	-	-	-
Sale Building 2: (Wing A & B) Silt / Ground + 18 Upper floors	7,338.81	4,510.20	11,849.01	Sale Building 2: (Wing A & B) Silt / Ground + 18 Upper floors	7,079.30	3,671.66	10,750.96	-	-	-	-
Sale Building 2: Wing C Silt / Ground + 18 Upper floors	3,309.49	1,818.05	5,127.54	Sale Building 2: Wing C Silt / Ground + 18 Upper floors	3,296.08	1,747.87	5,043.95	Silt + 18 floors	3,296.08	1,747.87	5,043.95
Sale Building 2: Wing D, E & F Silt / Ground + 18 Upper floors	8,992.11	4,980.22	13,972.33	Sale Building 2: Wing D, E & F Silt / Ground + 18 Upper floors	8,668.54	5,051.90	13,720.44	Wing D, E & F - Silt + 18 floors	8,668.54	4,980.22	13,650.76
Club house Ground + 1 st Floor	0	228.10	228.10	Club house: Ground + 1 st Floor	-	228.10	228.10	-	-	-	-
				Parking Tower	-	55.38	55.38				
Total	39,167.86	24,432.51	63,599.38	-	39,171.45	25,548.05	64,719.90	-	20,379.15	13,065.51	33,444.88

I also undertake that construction of Sale Bldg. No. 1 (Wing G) is not started, Sale Bldg. No. 2 (Wing A & B) only excavation and leveling work done & Club House is not yet started on site.

Thanking you,
Yours Faithfully,
For Sandeep Srinivas & Associates



Pankaj Palshikar
Principal
Registration No.: Chy 98 / 22945



SLUM REHABILITATION AUTHORITY

No.:SRA/ENG/2931/PN/PL/LOI

Date: 12 8 NOV 2019

1. **License Surveyor :** Mr. Prakash Shah
7th floor, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road, Andheri (E),
Mumbai-400 093.
2. **Developer :** M/s. Satellite Developers Pvt. Ltd.
7th floor, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road, Andheri (E),
Mumbai-400 093.
3. **Society :** Saikrupa CHS (Ltd.)

Subject:- Revised LOI- Proposed Slum Rehabilitation Scheme under
reg. 33(10) for slum & reg.30 for non slum of DCPR 2034 on
land bearing CTS No. 16/A/2 of village Malad, Malad (E),
Mumbai 400 097, for Saikrupa CHS (Ltd.).

Ref : SRA/ ENG/2931/PN/PL/LOI

Gentleman,

With reference to the above mentioned Slum Rehabilitation Scheme and on the basis of documents submitted by applicant, this office is pleased to issue in principle approval to the scheme in the form of this **Revised Letter of Intent (LOI)** subject to the following conditions.

1. That all conditions mentioned in Letter of Intent issued under No. SRA/ENG/2931/PN/PL/LOI dtd.27/07/2017 shall be complied with.
2. This Letter of Intent is issued on the basis of plot area certified by the Architect and the Annexure – II issued by Competent Authority and other relevant documents.
3. The built up area for sale and rehabilitation shall be as per the following scheme parameters. In the event of change in area of plot, nos. of eligible huts etc. the parameters shall be got revised from time to time.

The salient features of the scheme are as under:

Sr. No.	Description	Revised scheme parameter	
		Slum plot area in sq.mt.	Non slum area in sq.mt.
1	Area of plot considered for the scheme	3324.25	6436.83
2	Deductions for		
	(a) Road setback area	Nil	Nil
	(b) Reservation area land component	Nil	Nil
	(c) Amenity area as per reg. 14 (a)	58.17	321.84
3	Total Deductions	58.17	321.84
4	Balance Area of Plot	3266.08	6114.99
5	Net area for density calculation & FSI computation	3266.08	6114.99
6	(a) Minimum FSI to be attained as per clause 3.8 of 33(10) of DCPR 2034	3.00	
	(b) Zonal FSI + Max. permissible TDR + additional FSI by paying payment	-	1.00 + 0.50 + 0.50
7	(a) Proposed built-up area of Rehab.	7088.52	-
8	Rehab Component	10336.87	-
9	Sale Component (1.10 X Rehab Component)	11370.56	-
10	(a) Total Sale BUA permissible in situ	11370.56	12229.98
11	Total sale BUA proposed to be consumed in situ	11370.56	12229.98
12	Total BUA sanctioned for the project (a+b)	18459.08	12229.98
13	FSI sanctioned for the scheme (13/6)	5.65	2.00
14	Total BUA proposed to be consumed in situ	18459.08	12229.98
15	Total FSI consumed in situ	5.65	2.00
16	TDR generated in scheme	Nil	Nil
19	No. of Tenements to be Rehabilitated Rehab unit -123 R/C - nil Balwadi-01 Welfare Center -01 Society Office -01 Amenity - I - 01 Amenity - II -01	123 + 05 amenity	-
20	Provisional PAP (Resi- 91 + 1 comm.)	92	-
21	PAP	-	-

Note :- TDR to be purchase in future, additional FSI to be loaded in future on payment of premium.

4. This LOI is issued on the basis of documents submitted by the applicant. If any of the document submitted by Architect / Developer /Society or Owner are proved fraudulent/misappropriated before the Competent Court/AGRC and if directed by Competent Court /AGRC to cancel the LOI, then the LOI is liable to be cancelled and concerned person/Society /Developer/Architect are liable for action under version provision of IPC 1860 and Indian Evidence Act,1872.
5. Details of land Ownership: - Private plot.
6. Details to Access :- 9.00. mt. Avg. wide Existing road.
7. Details of D.P. Remarks :- R- Zone as per DP-2034.
8. The Developer shall pay Rs. 40,000/- per tenement towards Maintenance Deposit as per clause 9.1 Reg. 33(10) of DCPR 2034. and shall also pay Infrastructural Development charges 2% of Ready Reckoner prevailing on the date of issue of LOI per sq.mt. to the Slum Rehabilitation Authority as per Clause 9.2 Reg. 33(10) of DCPR 2034.
9. The Developer shall hand over PAP tenements if any within three months after grant of OCC. The said PAP tenements as mentioned in salient features condition no.3 above be handed over to the Estate Manger at Slum Rehabilitation Authority or any designated Govt. Authority for Project Affected Persons, each of carpet area 27.88 sq.mt. free of cost.

The PAP tenements shall be marked as a PAP tenement on front doors prominently. After completion of the building, PAP tenements shall be protected by the developer at his cost till handing over to the concerned authority by providing security guards etc.
10. The Amenity Tenements as mentioned in salient features condition no.3 above within 30 days from the date of issue of OCC of Rehab/Composite bldg. Handing over / Taking over receipt shall be submitted to SRA by the developer.

Sr. no.	Amenity	Amenity handed over to be
1	Balwadi	Handed over to the Woman and Child Welfare Department, Government of Maharashtra.
2	Society office	Handed over to the slum dwellers society.
3	Welfare Centre	Handed over to the slum dwellers society.
4	Amenity -I	Handed over to the slum dwellers society.
5	Amenity -II	Handed over to the slum dwellers society.

11. The conditions if any mentioned in certified Annexure-II issued by the Competent Authority, it shall be complied and compliances thereof shall be submitted to this office in time.
12. The Developer shall rehabilitate all the additional hutment dwellers if declared eligible in future by the competent Authority, after amending plans wherever necessary or as may be directed.
13. The Developer shall submit & adhere to various NOCs including that from MOEF as applicable from the concerned authorities in the office of Slum Rehabilitation Authority from time to time during the execution of the S.R. Scheme.
14. The Developer shall complete the rehab component of project within the stipulated time period from the date of issue of CC to composite building as mentioned below :-
 Plot area more than 7500 sq.mt. → 72 months.
 In case of failure to complete the project within stipulated time period the extension be obtained from the CEO/SRA with valid reasons.
15. The Developer shall register society of all Eligible slum dwellers to be re-housed under Slum Rehabilitation Scheme before issue of CC. After finalizing the allotment of Project Affected Persons (PAP) by the Competent Authority they shall be accommodated as members of registered society.
16. The Developer, Architect shall submit the duly notarized Indemnity Bond on Rs.200/- non-judicial stamp papers indemnifying the Slum Rehabilitation Authority and its officers against any kind of dispute, accident on site, risks or any damages or claim arising out of any sort of litigation with the slum dwellers / property owners or any others before IOA in a prescribed format.
8. The Developer shall not block existing access/easement right leading to adjoining structures/users and shall make provision of adequate access to the adjoining land locked plot, if any, free of cost and the same shall be shown on layout plan to be submitted for approval on terms and conditions as may be decided by Slum Rehabilitation Authority.
17. A) The Society/Developer/Architect shall display the copy of approved LOI and list of Annexure-II on the notice board of Society and/or in the area at conspicuous place. The photo of such notices pasted shall be submitted to concern Ex. Engineer (SRA) within a period of two weeks from the date of this LOI.

 B) That Developer/society shall give wide publicity by way of advertisement in a prescribed format for the approval of S. R. scheme at least in one local Marathi newspaper in Marathi script & English newspaper in English script and copy of such news papers shall be submitted to concern Ex. Engineer within two months from the date of LOI.

18. The IOA/Building plans will be approved in accordance with the Development Control and Promotion Regulations 2034 and prevailing rules, policies and conditions at the time of approval.
19. The Arithmetical error/ typographical error if any revealed at any time shall be corrected on either side.
20. That proper safety measures like barricading, safety net etc. shall be taken on site during construction work as maybe necessary depending upon the type of work and the developer along with their concerned technical team shall be solely responsible for safety.
21. That you shall register with rera authority as per rera act.
22. That you shall execute the Conveyance Deed for rehab component and sale component before requesting BCC certificate respectively.
23. That you shall get D. P. Road / set back land demarcated from A.E. (Survey)/ D.P. T & C department of M.C.G.M. and handed over to M.C.G.M. free of cost and free of encumbrances by transferring the ownership in the name of M.C.G.M. duly developed as per Municipal specification and certificate to that effect shall be obtained and submitted before obtaining C.C. for the last 25% of sale built up area approved in the scheme.
24. That you shall handover the buildable reservation and/or built-up amenity structure to MCGM and /or user department free of cost before granting CC to the last 25% for Sale BUA of Sale building in the scheme and separate P.R. Card with words for the buildable and non-buildable reservation in the name of M.C.G.M / User Deptt. Shall be submitted before obtaining Occupation Certificate for sale Bldg.
25. That you shall submit NOC/Remarks from office of Ch. Eng.(SWM)/DMC(SWM) for providing segregation centers/OWC's and transportation & deposition of C & D waste generated from site to designated land fill sites as per C & D waste management plan rule 2016.
26. That the developer shall ensure compliance of the provisions of building and other construction workers (Regulation and Employment and conditions of strikes, Act-1996 and submit documentation to that effect in order to comply the various orders of Hon'ble supreme court of India in 1A127961/2018 in SWM(c) No.(s)1/2015.
27. That the work shall not carried out between 10.00 pm. to 6.00 am, only in accordance with rule 5A (3) of noise pollution (regulation & control) Rules 2000 & the provision of notification issued by Ministry of Environment & forest Department.
28. That the cognizance of Govt. notification no.झोपुयो-१२०३/ प्र.क्र.४६/२०१९/ झोपसू-१ दि.२८/०८/२०१९ shall be taken & the conditions mentioned in the notification shall be followed scrupulously.

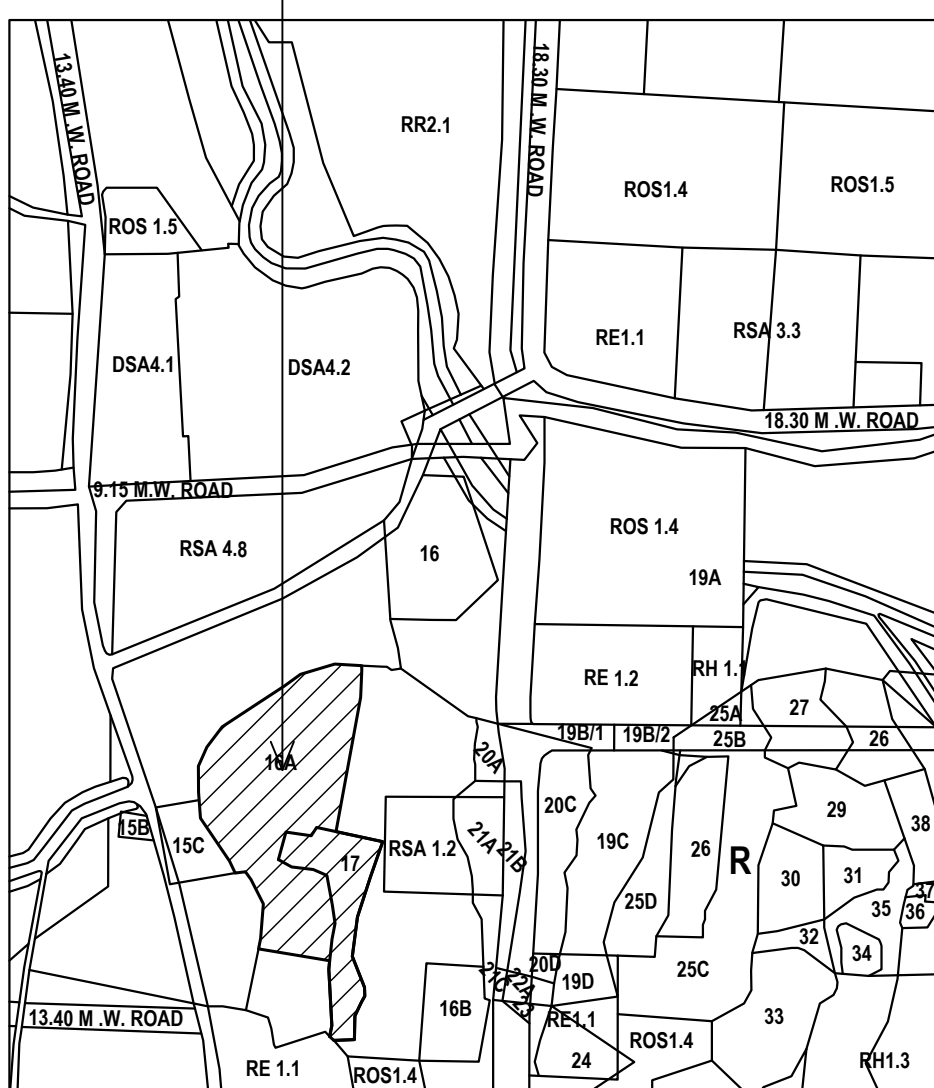
If applicant Society/Developer/Architect are agreeable to all these conditions, then may submit proposal for approval of plans separately for each building, in conformity with the Development Control and Promotion Regulations 2034 in the office of the undersigned within 90 days from receipt of this LOI.

Yours faithfully,

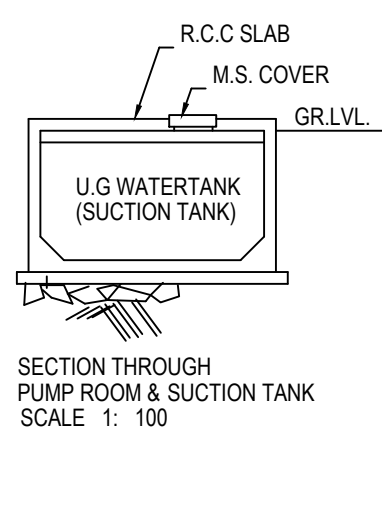
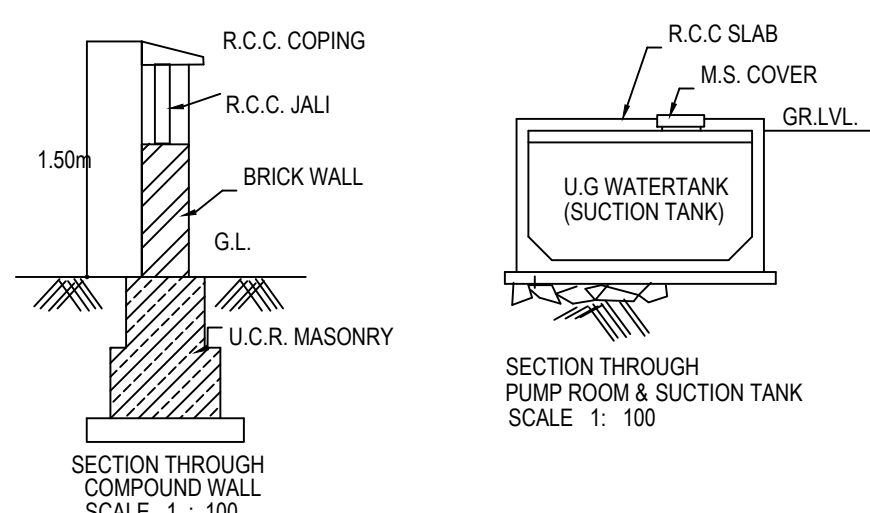

for Chief Executive Officer
Slum Rehabilitation Authority

Hon'ble CEO (SRA) Approved Draft Revised LOI.

SITE U/R



LOCATION PLAN
SCALE 1:4000



R.G.- 1

CLUB HOUSE
Gr. + 1st upper flr.

6.00 M WIDE INTERNAL ROAD

6.00 M WIDE INTERNAL ROAD

6.00 M WIDE INTERNAL ROAD

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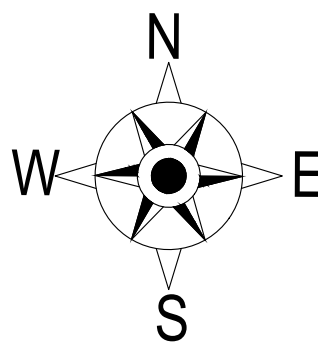
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LAYOUT PLAN
SCALE 1:200



BLOCK PLAN
SCALE 1:500

MOEF AREA - REHAB BLDG. = 16722.20 SQ.MT.
MOEF AREA - WING A & B = 11400.00 SQ.MT.
MOEF AREA - WING C = 5043.95 SQ.MT.
MOEF AREA - WING D = 5661.21 SQ.MT.
MOEF AREA - WING E & F = 7969.55 SQ.MT.
MOEF AREA - WING G & H = 18300.00 SQ.MT.
MOEF AREA - WING I = 4000.00 SQ.MT.
TOTAL MOEF AREA = 69096.91 SQ.MT.

FORM - I

	AREA STATEMENT	NON SLUM IN SQ.MT.	SR # 1 SLUM IN SQ.MT.	SR # 2 TOTAL IN SQ.MT.
1	AREA OF PLOT	6104.13	3656.95	9761.08
2	AREA OF RESERVATION IN PLOT	---	---	---
3	AREA OF ROAD SET BACK	---	---	---
4	AREA OF DP ROAD	---	---	---
5	DEDUCTIONS FOR	---	---	---
6	FOR RESERVATION/ROAD AREA	---	---	---
7	ROAD SET-BACK AREA TO BE HANDED OVER (100%) (REGULATION NO 16)	---	---	---
8	PROPOSED D. P. ROAD TO BE HANDED OVER (100%) (REGULATION NO 16)	---	---	---
9	RESERVATION AREA TO BE HANDED OVER (100%) (REGULATION NO 17)	---	---	---
10	RESERVATION AREA TO BE HANDED OVER AS PER AR (REGULATION NO 17)	---	---	---
11	FOR AMENITY AREA	---	---	---
12	AREA OF AMENITY PLOT/PLOTS TO BE HANDED OVER AS PER DCR 14(A)	305.21	64.00	369.21
13	AREA OF AMENITY PLOT/PLOTS TO BE HANDED OVER AS PER DCR 14(B)	---	---	---
14	AREA OF AMENITY PLOT/PLOTS TO BE HANDED OVER AS PER DCR 35(A) (VEHICULAR)	---	---	---
15	DEDUCTIONS FOR EXISTING BUA TO BE RETAINED IF ANY/ LAND COMPONENT OF EXISTING BUA / EXISTING BUA AS PER REGULATION UNDER WHICH THE DEVELOPMENT WAS ALLOWED.	---	---	---
16	TOTAL DEDUCTIONS: [(2(A) + 2(B) + 2(C) AS AND WHEN APPLICABLE)]	---	---	---
17	BALANCE AREA OF PLOT (1 MINUS 3)	5798.92	3592.95	9391.87
18	PLOT AREA UNDER DEVELOPMENT AFTER AREAS TO BE HANDED OVER TO MCGM/ APPROPRIATE AUTHORITY AS PER SR. NO. 4 ABOVE.	---	---	---
19	ZONAL (BASIC) FSI (0.50 OR 0.75 OR 1 OR 1.33)	---	---	---
20	MINIMUM FSI TO BE ATTAINED AS PER CLAUSE 3.8 OF 33 (10) OF DCPR 2034	---	---	---
21	BUILT UP AREA AS PER ZONAL (BASIC) FSI (SR#)	---	---	---
22	(IN CASE OF MILL LAND PERMISSIBLE BUA KEPT IN ABEYANCE)	---	---	---
23	BUILT UP EQUAL TO AREA OF LAND HANDED OVER AS PER REGULATION 30(A)	---	---	---
24	(I) AS PER 2(A) AND 2(B) EXCEPT 2(A)(C) (I) ABOVE WITH IN CAP OF ADMISSIBLE TOR AS COLUMN 6 OF TABLE -12 ON REMAINING / BALANCE PLOT.	---	---	---
25	(II) IN CASE OF 2(A)(C) (I) PERMISSIBLE OVER AND ABOVE PERMISSIBLE BUA ON REMAINING / BALANCE PLOT.	---	---	---
26	BUILT UP AREA IN LIEU OF COST OF CONSTRUCTION OF BUILT UP AMENITY TO BE HANDED OVER (WITHIN THE LIMIT OF PERMISSIBLE BUA ON REMAINING PLOT)	2899.46	---	2899.46
27	BUILT UP AREA DUE TO "ADDITIONAL FSI ON PAYMENT OF PREMIUM" AS PER TABLE NO 12 OF REGULATION NO 30(A) ON REMAINING / BALANCE PLOT.	2899.46	---	2899.46
28	BUILT UP AREA DUE TO ADMISSIBLE TOR AS PER TABLE NO 12 OF REGULATION NO 30(A) AND 32 ON REMAINING / BALANCE PLOT.	---	---	---
29	PERMISSIBLE BUILT UP AREA (AS THE CASE MAY BE WITH / WITHOUT BUA AS PER 2 (C))	11597.84	---	11597.84
30	PROPOSED BUILT UP AREA OF REHAB	8764.76	8764.76	---
31	REHAB COMPONENT	13040.69	13040.69	---
32	PERMISSIBLE SALE COMPONENT (INCENTIVE X REHAB COMPONENT)	14344.76	14344.76	---
33	PERMISSIBLE BUA FOR TRANSIT TENEMENTS FOR SRA / OF TOTAL ADDITIONAL BUA PERMISSIBLE BUA FOR SALE	11597.84	23109.52	34707.36
34	TOTAL BUA SANCTIONED FOR THE PROJECT	11597.84	23109.52	34707.36
35	PROPOSED BUA (AS THE CASE MAY BE WITH / WITHOUT BUA AS PER 2(C))	---	---	---
36	PROPOSED BUA FOR TRANSIT TENEMENTS FOR SRA / OF TOTAL ADDITIONAL BUA PROPOSED BUA FOR SALE COMPONENT OF TOTAL ADDITIONAL BUA	---	---	---
37	TDR GENERATED IF ANY AS PER REGULATION 30 (A) AND 32	---	---	---
38	TDR GENERATED IN SCHEME	---	---	---
39	FUNGIBLE COMPENSATORY AREA AS PER REGULATION NO 31(3)	---	---	---
40	(I) PERMISSIBLE FUNGIBLE COMPENSATORY AREA FOR REHAB COMPONENT WITHOUT CHARGING PREMIUM	3067.56	3067.56	---
41	(II) FUNGIBLE COMPENSATORY AREA AVAILABLE FOR REHAB COMPONENT WITHOUT CHARGING PREMIUM	---	---	---
42	PERMISSIBLE FUNGIBLE COMPENSATORY AREA BY CHARGING PREMIUM FOR SALE	9079.91	9079.91	---
43	(I) FUNGIBLE COMPENSATORY AREA AVAILABLE ON PAYMENT OF PREMIUM FOR SALE	9079.91	9079.91	---
44	TOTAL BUA INCLUDING FUNGIBLE FOR REHAB COMPONENT	35021.69	8972.94	8991.80
45	(I) TOTAL BUA INCLUDING FUNGIBLE FOR SALE COMPONENT	35021.69	8972.94	43994.63
46	TOTAL BUILT UP AREA PROPOSED INCLUDING FUNGIBLE COMPENSATORY AREA (13 + 15(A)(I) + 15(B)(I))	35021.69	8972.94	43994.63
47	FSI CONSIDERED ON NET PLOT -13 SR# 1 / 4	---	---	---
48	OTHER REQUIREMENTS	---	---	---
49	RESERVATION / DESIGNATION	---	---	---
50	NAME OF RESERVATION	---	---	---
51	AREA OF RESERVATION AFFECTING THE PLOT	---	---	---
52	AREA OF RESERVATION LAND TO BE HANDED/HANDED OVER AS PER REGULATION NO 17	---	---	---
53	BUILT UP AREA OF AMENITY TO BE HANDED OVER AS PER REGULATION NO. 17	---	---	---
54	AREA/BUILT UP AREA OF DESIGNATION	---	---	---
55	PLOT AREA/BUILT UP AMENITY TO BE HANDED OVER AS PER REGULATION NO 14(A)	---	---	---
56	14(B)	---	---	---
57	15	---	---	---
58	REQUIREMENT OF RECREATIONAL OPEN SPACE IN LAYOUT/PLOT AS PER REGULATION NO. 27	---	---	---
59	TENEMENT STATEMENT	---	---	---
60	PROPOSED BUILT UP AREA (13 ABOVE)	---	---	---
61	LESS DEDUCTION OF NON-RESIDENTIAL AREA (SHOP ETC.)	---	---	---
62	AREA AVAILABLE FOR TENEMENTS (I) MINUS (II)	---	---	---
63	TENEMENTS PERMISSIBLE (DENSITY OF TENEMENTS/HECTARE)	---	---	---
64	TOTAL NUMBER OF TENEMENTS PROPOSED ON THE PLOT	---	---	---
65	PARKING STATEMENT	---	---	---
66	PARKING REQUIRED BY REGULATIONS FOR - CAR / SCOOTER / MOTOR CYCLE / OUTSIDERS (VISITORS)	---	---	---
67	COVERED GARAGE PERMISSIBLE	---	---	---
68	COVERED GARAGES PROPOSED	---	---	---
69	CAR / SCOOTER / MOTOR CYCLE / OUTSIDERS (VISITORS)	---	---	---
70	TOTAL PARKING PROVIDED	---	---	---
71	TRANSPORT VEHICLES PARKING	---	---	---
72	SPACES FOR TRANSPORT VEHICLES PARKING REQUIRED BY REGULATIONS	---	---	---
73	TOTAL NO. OF TRANSPORT VEHICLES PARKING SPACES PROVIDED	---	---	---

NOTE: THE PROFORMA IS FOR AN ILLUSTRATIVE GUIDELINE ONLY. THE PROFORMA MAY BE MODIFIED TO SUIT THE PROVISIONS OF DCR UNDER WHICH THE DEVELOPMENT IS PROPOSED.

FORM - II

CONTENT OF SHEET			
GROUND FLOOR PLAN WITH AREA LINE DIAGRAM & CALCULATION, BLOCK PLAN, LOCATION PLAN, COMPONENT AREA STATEMENT, TENENTS AREA STATEMENT & LAYOUT PLAN ETC.			
STAMP OF DATE OF RECEIPT OF PLANS			
STAMP OF APPROVAL OF PLANS			
REVISION	DATE	DESCRIPTION	SIGNATURE
CERTIFICATE OF AREA			
CERTIFIED THAT I HAVE SURVEYED THE PLOT UNDER REFERENCE ON AND THAT THE DIMENSIONS OF SIDES, ETC. OF PLOT STATED ON THE PLAN ARE AS MEASURED ON SITE AND THE AREA SO WORKED OUT IS: SQUAREMETERS AND TALLIES WITH THE AREA STATED IN THE DOCUMENT OF OWNERSHIP/TOWN PLANNING SCHEME RECORDS.			
SIGNATURE OF LICENSED SURVEYOR/ARCHITECT/ ENGINEER/ STRUCTURAL ENGINEER/ SUPERVISOR			
ARCHITECT DESCRIPTION OF PROPOSAL & PROPERTY			
PROPOSED BUILDING ON PLOT BEARING C.T.S. NO.16A/12, VILLAGE MALAD, MALAD (EAST) P- NORTH WARD, MUMBAI.			
NAME & SIGN. OF OWNER			
M/S. SATELLITE DEVELOPERS PVT. LTD.			
JOB NO.	00		
DRN BY			
CHK BY		PRAKASH J. SHAH	
SCALE	AS SHOWN	LIC. SURVEYOR,	
NORTH		7TH FLOOR, S-14, SOLITAIRE CORPORATE PARK, ANDHERI-GHATKOPER LINK ROAD ANDHERI (EAST), MUMBAI -400093.	



ARCHITECTS

Date: 27.07.2022

To,
Member Secretary,
State Environment Impact Assessment Authority (SEIAA),
2nd Floor, Annex Building,
Mantralaya, Mumbai,
State: Maharashtra

I hereby certify that Slum Rehabilitation Scheme at C.T.S. No. 16/A/2, Malad (E), Mumbai by M/s. Satellite Developers Private Limited has approved area as per plan dated 20.12.2019, 16.12.2021, 28.04.2022, 25.07.2022 from Municipal Corporation of Greater Mumbai (MCGM).

Details of approved Built-up area are given as follows:

Approved FSI	39,171.45 sq.mt.
Commensurate Non FSI	25,548.05 sq.mt.
Total Construction Built-up Area (FSI + NON FSI)	64,719.50 sq.mt.

We are also submitting herewith the user wise breakup of Commensurate NON FSI as follows:

BREAKUP OF COMMENSURATE NON FSI

Details	Area (sq.mt.)
Stilt	2,584.58
Parking Area	727.51
St-case	6,128.47
Lift	5,017.60
Pass / Lobby	9,495.84
Club House	256.23
Society Office	47.57
Balwadi	31.95
Welfare Centre	31.95
Skill development	31.95
Library	31.63
Temple	27.19
Refuge	1,135.58
Total	25548.05

Thanking you,
Yours Faithfully,

For Sandeep Shikre & Associates

Pankaj Palshtkar

Principal

Registration No.: CA / 08 / 22945



Sandeep Shikre & Associates
203-204, Prabhadevi Industrial Estate, Veer Savarkar Marg, Prabhadevi, Mumbai 400 025 India
Tel: +91 22 6629 6500 Fax: +91 22 6654 6505 Email: ssa@ssaarchitects.com Web: www.ssaarchitects.com

architecture • interior design • project management

MUNICIPAL CORPORATION OF GREATER MUMBAI

Office of the
Dy.Chief Engineer
(Sewerage Project) P&D.,
2nd Floor, Engineering Hub
Building, Dr.E.Moses Road,
Worli, Mumbai - 400 018.

No Dy.Ch/E/S.P. 2131P/N P&D

28 MAY 2018

To,
Mr. Shailesh N. Kacha (LP no.4139)
M/s. Shailesh N. Kacha
Matruchaya, Near Sanyas Ashram, Ville Parle(W)
Mumbai-400 056.

Sub:- Sewerage remarks for proposed building at C.T.S. No.16A(pt.),
16A/1 &2, 17 of Village Malad(E), Mumbai.

Ref: - I) Request letter from License Plumber dt.11.08.2017
II) IOA No.PN/PVT/0183/20170602/AP dt.27.07.2017
IOA holder: M/s. Satellite Developers Pvt. Ltd.
III) Dy.Ch.E.(S.P.) P&D's approval dt.28.05.2018

Gentlemen,

By direction, this is to inform you that so far S.P.(P.&D.) section is concerned, there is no objection to connect overflow from STP(treated sewage) to layout SWD temporarily by laying 150 mm and 230 mm dia S.W. pipe sewer at a slope of 1:80 and 1:135 for a length of 16mtr and 30mtr on the proposed internal road as per L-section attached herewith, for proposed building situated at the above mentioned plot, subject to the following conditions:-

1. It is to strictly mention here that the sewer line shall be laid as per the L-section attached herewith.
2. That work shall be carried out as per the Municipal Specifications and drainage bye-laws.
3. That the R.C. vent shaft of adequate size shall be provided at every head manhole/sewer trap chamber and at every 500' intervals, along the sewer line.
4. The work shall be commenced within 15 days and completed within 180 days of the commencement date. (Excluding Monsoon).
5. All necessary permissions from concerned officials/departments like Traffic Police, Ward Office, DyChE(SWD)WS/DYChE(SWD)Central Cell W.S./Dy.Ch.E.(SO).WS etc. shall be obtained before starting the work.
6. That the conical manhole of 1.22Mt. dia. shall be constructed if the depth of manhole is between 1.52Mt. and 2.28Mt. and 1.52 Mt.dia. conical manhole shall be constructed if the depth of manhole exceeds 2.28Mt. but

- is less than 5.03M. as per Municipal specifications with C.I. heavy air tight frame & cover, weighing between 231 to 244 Kg.
7. That where the depth of the sewer is less than 1.22Mt. the rectangular Inspection chamber shall be constructed of size 0.91M.x 0.61M.x 0.45Mt. with 230 mm. thick brick masonry in C.M.1:2 with both sides 20 mm. thick plaster in C.M.1:1 with C.I. heavy air tight frame & cover for 0.91M.x 0.61M. Inspection chamber the cover shall weight 259 Kg. to 289 Kg. and for 0.91 to 0.45 m. inspection chamber cover shall weigh 223 Kg. to 247 Kg.
 8. That the C.I. steps 5.40 Kg. each shall be provided for M.H./Chamber at 375 mm. c/c. distance scattered when the depth of the manhole/chamber exceeds 1.22Mt.
 9. That the 30 cm. thick 1:2:4 c.c. for conical M.H. of size 1.22M. dia. and 1.52Mt. dia. 23 cm. thick 1:2:4 bed concrete for 0.91M.x 0.61M. Inspection chamber and 15 cm. thick 1:2:4 bed concrete for 0.91M.x 0.45Mt. Inspection chamber shall be laid which shall be 15 cm. all along the external faces of the manhole/chamber.
 10. That the sewer should be fully encased with 15 cm. thick M:150 (1:2:4) cement concrete when the average depth of the top of the pipe sewer is less than 1 meter and more than 3 meters and shall be half encased with 15 cm. (1:2:4) cement concrete when the average depth of the top of the pipe sewer is between 1 to 3 meters.
 11. The necessary drop arrangement as per Municipal specifications should be provided in the manholes/chambers where drop in the sewer exceeds 0.61Mt.
 12. That the sewer line to be laid shall be cleaned before applying to **Asstt. Commissioner 'P/North' ward** for connecting it to the existing Municipal sewer.
 13. The hydro test certificate from E.E.Mech.(M.S.)W.S. shall be obtained before completion.
 14. After the work is completed the Drainage Completion Certificate along with 4 sets of completion plan "As built Drawing" on a tracing paper of 85/90 grade paper shall be submitted to this office for acceptance.
 15. You shall be solely responsible for safety of other underground services pipe lines etc. and safety of third party including injury/death of any person. Any harm done as a consequence of work being carried out by you shall be compensated solely by you.
 16. That after the D.C.C. for the above mentioned sewer is accepted by this office, you should approach **Asstt. Commissioner 'P/North' ward** for connecting the aforesaid sewer to the existing Municipal sewer, after remitting the necessary charges for street connection.
 17. The necessary road reinstatement charges shall be borne by developer.
 18. To provide fully encased (15 cm. all around) 150 mm. dia. R.C.(P1 Class) pipe from vent shaft chamber to manhole.
 19. All the safety measures shall be carried out to protect the compound wall of adjoining property during laying of sewer lines.

20. That the notarized undertaking, on Rs.500/- stamp paper for complying with these conditions shall be submitted.
21. A Notarized undertaking on Rs. 500/- stamp paper to be submitted by the owner/ developers stating therein that, the sewage generated in the premises will be treated as per the standard enforced by MPCB and the overflow of treated sewage from STP will be temporary discharged into the nearby road side SWD / nalla for which remarks /completion certificate /NOC of Dy. Ch.E.(SWD)WS/Dy. Ch.E.(SWD)(Central Cell) WS will be taken and this temporary connection will be discarded as and when new sewer line on Vadarpada road no.1 & Azad Chourasiya road shall be laid and commissioned by MCGM, thereafter the overflow connection will be transferred to proposed Municipal sewer in future.
22. This remark does not absolve the developer /LP from its responsibility to obtain N.O.C./Clearance from other municipal departments/statutory board/Govt departments as may be necessary.
23. A nominal undertaking on Rs.500/- stamp paper shall be insisted from IOA holder mentioning that as and when Municipal sewer is laid & commissioned in the vicinity of plot by MCGM, the connection to SWD will be discarded and proposed 150 mm dia and 230 mm dia at point E, H, I will be connected to proposed 300 mm dia sewer on right of way.

Yours faithfully,



Executive Engineer
(Sewerage Project) P &D,W.S.

Acc: 1 Plan.



SLUM REHABILITATION AUTHORITY

No. : SRA/ENG/Desk-2/9769/PN/2018

Date :

1 MAR 2018

To,

✓ Dinesh H. Mehta.
B/34, Rajesh Apartment Shankar Lane Kandivli (W).
Mumbai-400067.

Sub : Drainage approval for Proposed Rehab building no.1, on plot bearing CTS No. 16A (pt), 16A/1 & 2, 17 of village Malad, Malad (E), Mumbai, under regulation 33(10) of DCR 1991. For "Saikrupa Co Hsg. Soc (prop)"

Ref. PN/PVT/0183/20170602/AP. Dtd. 12/01/2018.

Sir,

There is no objection to carry out the drainage work upto sewer trap chamber as per plan submitted by you, subject to the following conditions:-

1. That invert level shall be got approved from (P/N) Ward before starting the work
2. That the work shall be carried out strictly in accordance with the Municipal requirements.
3. That the required under taking for rectifying the drainage defects shall be submitted before applying for DCC.
4. That the vertical drainage pipes shall have to be tested by smoke test to check up the leakages
5. That the trenches for inspection chambers etc shall not be refilled before the same are shown to the concerned Sub Engineer.
6. That the C.I. Pipes shall be provided at least upto 1st floor level.
7. That the remarks of E.E (S.P.) P & D of M.C.G.M regarding existence of functioning sewer line shall be obtained.

Also note that connection shall not be made to the municipal sewer without getting the work certified by this office.

Yours faithfully,

Assistant Engineer (SRA)
Slum Rehabilitation Authority



SLUM REHABILITATION AUTHORITY

No.PN/PVT/0183/20170602/AP

Date: **2 APR 2018**

To,
Mr. Dinesh H. Mehta
B/34, Rajesh Apartment,
Shanker Lane, Kandivali (W).
Mumbai - 400 067.

Sub: - Drainage approval and street Connection permission for Prop. S.R.
Scheme on land bearing CTS No. 16A(pt), 16A/1 & 2 and 17 of village
Malad (S), Malad (E), Mumbai.

Sir,

There is no objection to carry out the drainage work upto sewer trap chamber as per plan submitted by you, subject to the following conditions.

- 1) That invert level shall be got approved from (P/N) ward starting the work.
- 2) That the work shall be carried out strictly in accordance with the Municipal requirements.
- 3) That the required under taking for rectifying the drainage shall be submitted before applying for DCC.
- 4) That the vertical drainage pipes have to be tested by smoke test to check up the leakages.
- 5) That the trenches for inspection chambers etc. shall not be refilled before the same are shown to the concerned Sub Engineer.
- 6) That the C.I Pipes be provided at least upto 1st floor level.
- 7) That the remarks of E.E.(S.P) P & D M.C.G.M. regarding existence of functioning sewer line shall be obtained.

Also note that connection shall not be made to the municipal sewer without getting work certified by this office.

Yours faithfully,

- 321 -

Assistant Engineer-XI
Slum Rehabilitation Authority

Copy to: Assistant Engineer Maintenance 'P/N'.

Mahesh
+ 24/18

Assistant Engineer - XI
Slum Rehabilitation Authority



SLUM REHABILITATION AUTHORITY

No. PN/PVT/O 183/20170602/AP

Date: 29 NOV 2020

To,
Shri. Dinesh H. Mehta
B/34, Rajesh Apartment, Shankar Lane,
Kandivali (W), Mumbai – 400 067.

Sub : Part Drainage Completion Certification for Prop rehab building
of Prop. S.R. scheme under reg. 33(10) for slum and reg. 30 for
non slum of DCPR 2034 on land bearing CFS No. 16/A/2 of
village Malad, Malad (East), Mumbai – 400 097.

For Sai Krupa CHSL.

Ref: Part DCC submitted by you on 26/10/2020.

File No. PN/PVT/O183/20170602/AP.

Sir,

The part drainage completion certificate submitted on. 26/10/2020 for
the above work is hereby accepted.

Yours faithfully,

Assistant Engineer
Slum Rehabilitation Authority

Consultant report /certificate for sanitary drainage

Sub: Sanitary drainage remarks for The Proposed Sale Building No.1 (Wing 'G') under S.R. Scheme on plot bearing CTS No. 16/A/2 of Village Malad, Malad (E), Mumbai - 400097.

Sir,

With reference to above subject and as per design following are the remarks for internal drainage for proposed residential building.

1. Vertical lines of UPVC SWR pipes Type-A for Anti Siphonage, Vent and Type-B for Soil, Waste drains up to 160mm dia. confirming to IS 13592. from terrace to basement-3 ceiling

Pipe dia. (Type-A or 4 kg f) = 63mm, 75mm & 110mm. (For Anti, Vent)

Pipe dia. (Type-B) = 75mm, 110mm & 160mm. (Rubber ring type) (For soil, waste)

2. Horizontal pipes for outside building of UPVC pipe Type-B for Soil & Waste minimum 160mm dia. confirming to IS 13592.

3. Vertical piping from first floor to ground ceiling up to gully trap inspection chamber⁴ will be of heavy quality approved make CI spigot and socket pipes for soil, waste and vent, conforming to IS 3989 fixing with caulking spun yarn soaked in tar and jointing with Drip seal or lead)

Pipe dia. = 80mm, 100mm & 150mm.

4. Vertical rain water pipes of UPVC pipe Type-A for R.W. up to 160mm dia. confirming to IS 13592 & AGRI 6kgf for R.W. above 160 mm dia. confirming to IS:4985. (For Vertical Rain Water Pipes from terrace to basement ceiling)

5. Horizontal suspended rain water pipes of UPVC AGRI 6kgf confirming to IS: 4985 at Basement level ceiling.

6. 4" (100mm) / 6" (150mm) / 8" (200mm) / 10" (250mm) / 12" (300mm) Double wall corrugated H.D.P.E. pipes of SN4 & SN5 grade will be used for underground drainage & Rain water lines with gradient of 1:80 to 1:200 depending on pipe dia., as shown in U.G. Drainage layout.

7. UPVC Bottle gully trap with 300mm x 300mm CI cover at top including embedding the trap in cement concrete M-15 construction of brick masonry chamber internal clear size 300 x 300 mm in brick masonry 250mm thick in cement sand mortar 1:4 over M-20 cement concrete bed 150mm thick, plastering inside outside and all exposed surfaces with 1:3 cement sand plaster 15mm thick providing and fixing CI frame & cover size 300 x 300mm weighing together not less than 7.8Kgms etc. complete. (For all waste lines)

8. Constructing block masonry inspection chamber size 900 x 450 and depth up to 1375mm including the following: Distance between chambers as shown in U.G. Drainage layout.
- a) 200 thick block masonry walls in CM 1:4
 - b) C.C. foundation bed in M-15, 300 mm thick size 1600 x 1150
 - c) Cement plaster inside and outside in CM 1:3
 - d) CC M-15 in haunches and channels finished smooth in CM 1:2
 - e) CC M-15 cap on top 150 thick
 - f) Chamber covers as per site requirements will be in C.I. or D.I.

9. Constructing Round brick masonry manhole of 600 mm dia. for depth more than 900mm including the following: Distance between chambers as shown in U.G. Drainage layout.
Specifications of round manholes.

- a) Bed PCC for chamber to be M-15 concrete 300 mm thick, with 6" projection.
 - b) Chamber to be constructed using bricks 225mm thick wall.
 - c) Chamber covers as per site requirements will be in CI or DI
 - d) Plastic steps to be provided. (Copolymer Polypropylene, Steel reinforced manhole step, is injection molded around a 12mm dia. IS-1786 grade Fe-415 steel reinforcing bar.)
 - e) Cement plaster inside and outside in CM 1:1
 - f) Brick masonry walls in CM 1:3
 - g) Haunching & benching M-15.
 - h) Depth beyond 2285mm should be in double brick cylindrical.
10. Horizontal suspended drainage pipes of CI spun/ centri pipes conforming to IS 3989 / LA class (IS 1536) at basement level ceiling. (Part area)

Pipe dia. for waste branch pipes = 80mm.

Pipe dia. for all Soil branch pipes = 100mm.

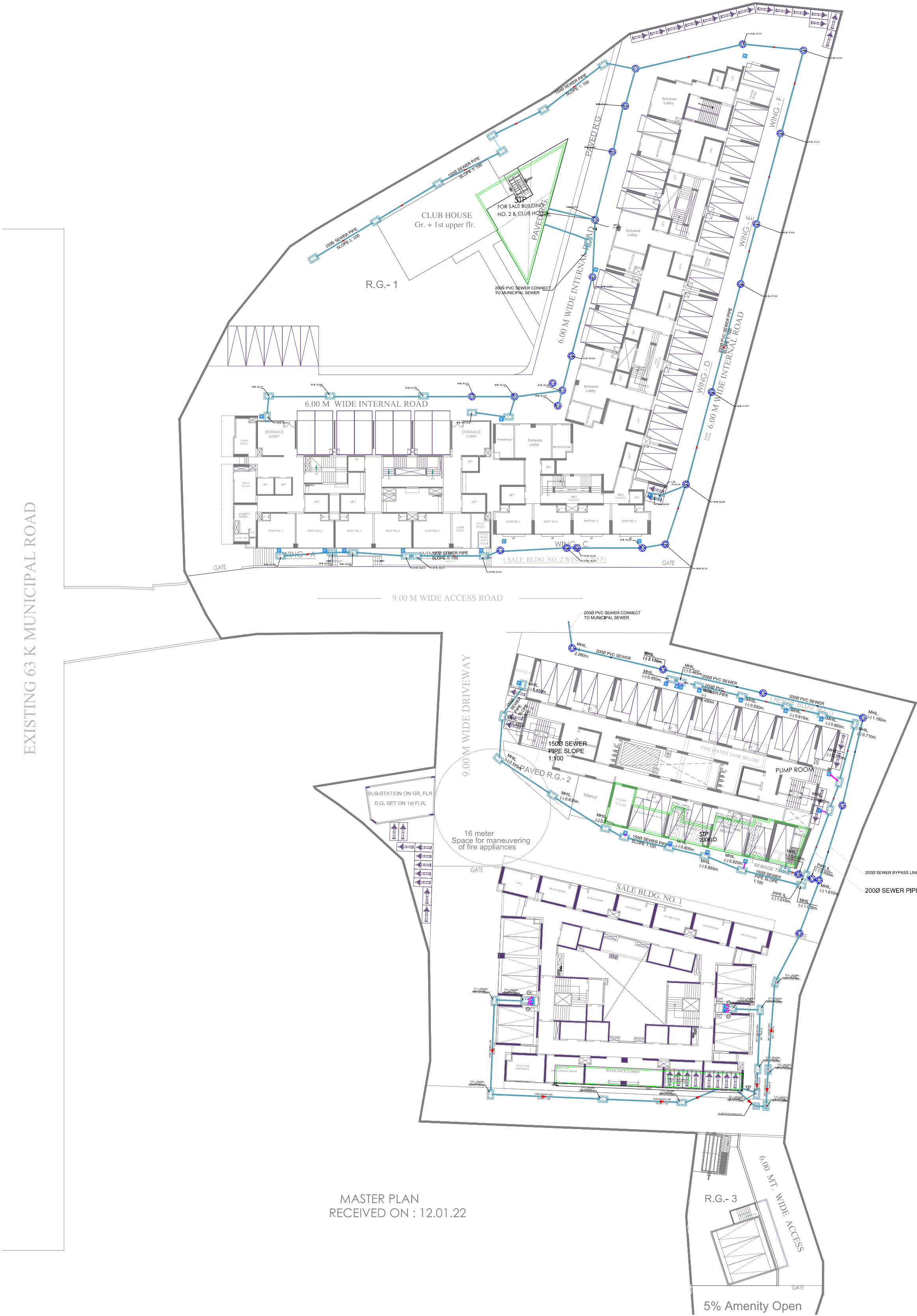
Pipe dia. for all Soil branch pipes = 150mm. (If vertical soil lines are 160mm dia.)

Pipe dia. for Main drain pipes = 150mm & 200mm.

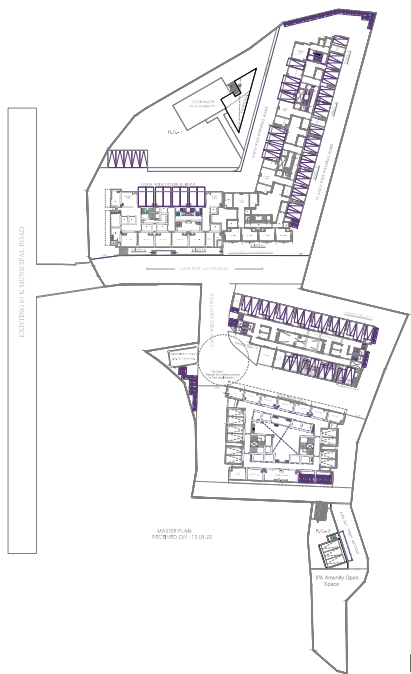
Consultant lic no: CIN U 74210 MH 2005 PTC 155713

Consultant's Signature

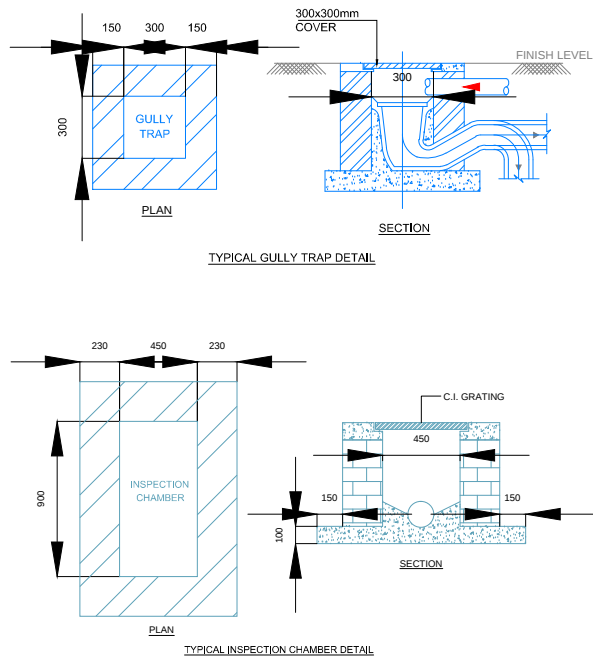
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MASTER PLAN
RECEIVED ON : 12.01.22



KEY PLAN



TYPICAL GULLY TRAP DETAIL

TYPICAL INSPECTION CHAMBER DETAIL

LEGEND:	
DESCRIPTION	SYMBOL
2000 SEWER DRAINAGE PIPE	
FLOW DIRECTION	
450X300MM INSPECTION CHAMBER	
300X300MM GULLY TRAP	

GENERAL NOTES :-

PRO	DATE	REVISIONS	PRM	SSS
PRO	21.02.22	PRELIMINARY DRAWING	PRM	SSS
ISSUE			BY	APPD

PROJECT :	AARAMBH WING GH, MALAD - EAST
CLIENT :	SATELLITE
ARCHITECT :	SSA



clancy global
CONSULTING ENGINEERS
S.NO. 1000, Driveway Road, Mulund (W), Mumbai 400 080, India
Tel. No. +91 22 25684776 Fax. No. +91 22 25684781
Email : clancyglobal@gmail.com Website : www.clancy-global.com

TITLE : EXTERNAL SANITARY LAYOUT AT MASTER FLOOR PLAN					
DRG. No. 010-1713-P-03					
DRN	CHKD.	APPD.	DATE	SCALE	REV
PRM	SSS	SSS	21.02.22	A1@1:200	PRO

MUNICIPAL CORPORATION OF GREATER MUMBAI

No.DyChE/549/SWD/WS dt. 16/02/2018

Office of the

Dy.Ch.Engr.(Storm Water Drain) W.S.

Green Woods C.H.S. Ltd.

Andheri-Kurla Road,

Andheri (East), Mumbai - 400 093.

To,

Mr. Prakash J. Shah, Architect
7th floor, S-14, Solitaire Corporate Park
Andheri Ghatkopar Link Road,
Andheri(E)
Mumbai-400093

Subject: - SWD Remarks for proposed S.R.A. Scheme on plot bearing CTS No. 16A (pt), 16A/1 to 2, and 17 of village Malad, Malad (E).

Reference: - Your application received in this office on 16/02/18

(A) Nalla Remarks

1. Whether any natural water course / nalla are passing/through the property. No
2. Whether specific remarks for nalla is obtained from E.E. (SWD) City & C.C. No

(B) Storm Water Drain remarks inside the plot.

1. Minimum formation level of the plot shall be 28.0 M.THD or 15 cm above the formation level of the existing road whichever is higher.
2. Side open space shall be leveled, consolidated with slope towards proposed and existing S.W. Drain.
3. At no time existing natural watercourse / storm water drain passing through the plot under reference shall be blocked.
4. The storm water from the adjoining locality shall be allowed to pass through the holding and any blockage shall be removed at owners risk & cost.
5. While constructing the drain the inverts level of the drain shall be kept such as to admit storm water coming from adjoining area.
6. The invert of the S.W.D. on upstream side shall never be lower than the invert on downstream side drain. Similarly if there is existing drain on upstream, the invert of the new drain shall necessarily be lower than the invert of the existing drain on upstream.
7. The proposed / existing S.W.D. shall be covered with heavy duty M.S. / C.I. / R.C.C. gratings.

(C) Storm Water Drain remarks for existing Municipal Rds. / D.P. Rds. / Internal Rds.

1. The S.W.D. shall be constructed as per Municipal specifications with both side walls of 20 cm th. in M20 grade C.C. along with bed concrete of 15 cm th. in M10 grade C.C., haunch of 8 cm th. in M20 grade etc. with smooth internal surface and same shall be covered with R.C.C. slab in m20 grade C.C. along with heavy duty M.H. frame & cover (with locking arrangement) of size 0.91 m x 0.61 m at 6 m distance.
2. R.C.C. pipe weep holes of 150 mm dia shall be provided at 6 m distance to collect the storm water from road surface to S.W. Drain.
3. The gradient of the S.W.D. shall be given such as to create velocity of 1.2 m / Sec. In case of steep localities where velocity is likely to exceed 2.40 m / Sec. intermediate drop in the invert shall be provided.
4. The top of the S.W.D. wall shall be kept min. 10 cm above the formation level of the road.

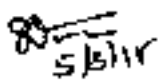
5. The waterway shall be measured 0.15 m before the formation level of road & minimum waterway depth in any drain shall not be less than 0.30 m and minimum width not less than 0.45 m.
6. All drains crossing roads shall be 2 times the size of drains proposed.
7. R.C.C. slab designed for "AA" class loading along with heavy duty frame and cover with locking arrangement on S.W.D. shall be provided at every entrance gate of the premises.
8. To fully encase the R.C. pipe drain & pipe culvert with 15 cm th. M15 grade C.C.
9. To intimate the date of starting the construction of S.W.D.
10. To submit 'As Built' drawing showing cross sections of S.W.D. / nalla constructed as per remarks.
11. Compound wall shall not be constructed on S.W.D. wall and adequate number of weep holes / openings should be provided in the compound wall wherever necessary.
12. Necessary permission for the development of holding shall be obtained from the concerned authorities before starting the work.
13. These remarks shall not be accounted as ownership documents.
14. The remarks offered above are valid for the period of two years from the date of issue.
15. That the above storm water drains shall be constructed as per the design of Lic. Structural Engineer and stability Cft. from Lic. Structural Engineer shall be submitted before requesting for Completion Certificate.
16. Additional remarks :

SWD Remarks for proposed S.R.A. Scheme on plot bearing CTS No. 16A (pt), 16A/1 to 2, and 17 of village Malad, Malad (E).

Sr.No	Notations	Descriptions of SWD works
1.	C→B, C→D, H→I→J, H→F→E, L→G	Proposed internal S.W. Drain to be constructed of size 0.27sqm (min 0.45m wide) with bottom slope of 1 in 500 towards discharging point, and to be covered with R.C.C./C.I./M.S. gratings and connect the same to the existing/proposed SWD.
2.	E→J→K,	Proposed roadside S.W drain to be constructed of min c/s area 0.54 sq.m (min 0.6m wide),and cover it with R.C.C. slab with inspection chamber @ 6.00m c/c at final edge of 9.00m wide Right of way as mention in remarks 'C' & connect to the existing SWD.
3.	B→A	Proposed roadside S.W.drain to be constructed of min c/s area 0.36 sq.m (min 0.6m wide),and cover it with R.C.C. slab with inspection chamber @ 6.00m c/c at final edge of 9.00m wide Right of way as mention in remarks 'C'.
4.	B=E	To construct R.C.C. box type culvert designed for 'AA' class loading to min c/s area 0.81sq.m (min 0.9m wide) with chamber at center of size 0.6x0.9mtr along with heavy duty frame and cover with locking arrangement.
5.	A=K	To construct R.C.C. box type culvert designed for 'AA' class loading to min c/s area 1.50sq.m (min 1.5m wide) with chamber at center of size 0.6x0.9mtr along with heavy duty frame and cover with locking arrangement and connect U/S and D/S S.W.D.

General Remarks

1.	Provide cement concrete/paved all around the building with slope towards drain as shown in accompanying plan.
2.	Provide adequate no. of openings as weep holes in road side compound wall /halla wall to drain off water from open space into the drain /halla.
3.	The surface water from the adjoining bldgs. / structures / plots / slums if any shall be allowed to flow through S.W.D. of above property and the invert levels of the proposed drain should kept below the invert level of S.W.D. of adjoining bldg. / structures / plots. /slums.
4.	All temporary measures are to be taken to avoid flooding and stagnation of water in the area due to proposed construction activity.
5.	The above remarks are given as per your request and without prejudice. The said remarks are likely to be revised subject to condition raised at any instance in future.
6.	Entry Gate Slab of building to be constructed for AA class loading.
7.	If there is any amendment / changes in the plan / layout revised remarks will have to be obtained before completion.


E.E.(S.W.D.)WS(Z-IV)

SWD Remarks for proposed S.R.A. Scheme on plot bearing CTS No. 16A (pt), 16A/1 to 2, and 17 of village Malad, Malad (E).

Sr.No	Notations	Descriptions of SWD works
1.	C→B, C→D, H→I→J, H→F→E, L→G	Proposed internal S.W. Drain to be constructed of size 0.27sqm (min 0.45m wide) with bottom slope of 1 in 500 towards discharging point, and to be covered with R.C.C./C.I./M.S. gratings and connect the same to the existing/proposed SWD.
2.	E→J→K,	Proposed roadside S.W.drain to be constructed of min c/s area 0.54 sq.m (min 0.6m wide),and cover it with R.C.C. slab with inspection chamber @ 6.00m c/c at final edge of 9.00m wide Right of way as mention in remarks 'C' & connect to the existing SWD.
3.	B→A	Proposed roadside S.W.drain to be constructed of min c/s area 0.36 sq.m (min 0.6m wide),and cover it with R.C.C. slab with inspection chamber @ 6.00m c/c at final edge of 9.00m wide Right of way as mention in remarks 'C'.
4.	D=E	To construct R.C.C. box type culvert designed for 'AA' class loading to min c/s area 0.81sq.m (min 0.9m wide) with chamber at center of size 0.6x0.9mtr along with heavy duty frame and cover with locking arrangement.
5.	A=K	To construct R.C.C. box type culvert designed for 'AA' class loading to min c/s area 1.50sq.m (min 1.5m wide) with chamber at center of size 0.6x0.9mtr along with heavy duty frame and cover with locking arrangement and connect U/S and D/S S.W D.

General Remarks

1.	Provide cement concrete/paved all around the building with slope towards drain as shown in accompanying plan.
2.	Provide adequate no. of openings as weep holes in road side compound wall /nalla wall to drain off water from open space into the drain /nalla.
3.	The surface water from the adjoining bldgs. / structures / plots / slums if any shall be allowed to flow through S.W.D. of above property and the invert levels of the proposed drain should kept below the invert level of S.W.D. of adjoining bldg. / structures / plots. /slums.
4.	All temporary measures are to be taken to avoid flooding and stagnation of water in the area due to proposed construction activity.
5.	The above remarks are given as per your request and without prejudice. The said remarks are likely to be revised subject to condition raised at any instance in future.
6.	Entry Gate Slab of building to be constructed for AA class loading.
7.	If there is any amendment / changes in the plan / layout revised remarks will have to be obtained before completion.

MUNICIPAL CORPORATION OF GREATER MUMBAI
ISSUED SUBJECT TO THE CONDITIONED MENTIONED
IN THE ACCOMPANYING REMARKS SHEET UNDER
No. DY.C.E./ 549 /S.W.D. (V/S.) Dt: 5/3/18
S.E. AE (S.W.D.) S.W.D. W.S.Z-IV
5/3/18

6 MAR 2018

CONSULTANTS REPORT/CERTIFICATE FOR INTERNAL STORM WATER DRAIN

Sub: Storm Water Drain Remark for The Proposed Sale Building No.1 (Wing 'G') under S.R. Scheme on plot bearing CTS No. 16/A/2 of Village Malad, Malad (E), Mumbai - 400097.

The net plot area is 9837.45 sqm.

The detail calculation & design of the SWD inside the plot as annexed hereto.

Sample Calculation:

1. Catchment Area : 9837.45 Sq.mt.
2. Rainfall Intensity : 0.020mm/sec
(75mm/hr.)
3. Velocity : 1.2 m/sec
4. Run Off Co-efficient : 0.9
5. Calculations of Discharge and Cross Sectional Area Requirement.

i. $Q = A \times I \times R$

Where, Q = Discharge in cu.mt./sec.

A = Area of the plot in sq.mt.

I = Intensity of Rainfall in mm/sec

(0.020mm/sec)

R = Co-efficient of Surface Run off

$Q = 9837.45 \times 0.000020 \times 0.9 = 0.177 \text{ Cum. /second}$

ii. $Q = A \times I \times R$

Where, Q = Discharge in cu.mt./sec.

A = Cross sectional Area required for internal Storm water Drain network

V = Velocity of Storm Water (to be taken as 1.2m/sec.)

iii. Min. Initial dimension of storm water for sale 1 & rehab building drain at ground floor is 450 mm x 300mm(D) and final is 450mm x 560 mm(D). (1 side of plot)

iv. Min. Initial dimension of storm water for sale 2 building drain at ground floor is 450 mm x 600mm(D) and final is 450mm x 1740mm(D). (1 side of plot)

6. Area of Storm Water Drain: $\text{Area} \times 0.060 / 3600 \times \text{RC} / V$

7. Initial Size of Storm Water for sale 1 & Rehab: 450mm wide & 300mm at ground floor drain depth.

8. End Size of proposed Storm for sale 1 & Rehab: 450mm x 560mm Water drain at ground floor 300mm at ground floor drain depth.

9. End Size of proposed Storm for sale 2: 450mm x 600mm Water drain at ground floor.

10. End Size of proposed Storm for sale 2: 450mm x 1740mm Water drain at ground floor (As marked on annexed plan)

General Observations

1. Whether any natural water course is: NA
Passing through the property.
2. Size of existing natural water course: NA
3. Size to which the existing natural water: NA
Course should be widened.
4. Nature of land (whether the R.L .is above: To be maintained as 28.04 THD or not) per Item No.5 below
5. Minimum formation level of the plot required:

266.7 feet above T.H.D. or 15cm above the formation level of the raised footpath or the existing access road whichever is higher.

6. Space from side of then all is to be left out.
7. Adequate storm water drain shall be design within the property including provision for admitting storm water coming from the surrounding locality if required in future.
8. While constructing the S.W. Drain invert level of the drain has been designed such as to admit the storm water coming from the adjoining areas.

Additional remarks if any:

A. for Suburbs

1. The access/internal road soft the layout has been provided with puce open S.W. Drains on each/one side having an area of **9837.45** Sqm (as indicated in the accompanying plan). The
 - a.i. Remarks are offered considering the CTS boundaries as shown in the proposed plans by the Architect/LS.
2. The roadside drains, if any, should be constructed on final R.L. obtained from Competent Authority.
3. Side open spaces have been proposed to be leveled consolidated and paved with proper slope to drain in such a way to dispose off the storm water in to the S.W. Drains as proposed and/in to the existing drains along Municipal Roads.
4. The storm water drains as per these remarks are proposed to be constructed as per M.C.G.M. specifications and the walls shall be of c.c. M-20 of minimum thickness 0.20m. Over abed concrete of M-15(1:2:4) c.c.15cm. Thick and M-20 c.c. haunches of 8 cm. thick with cement plaster in cm. (1:2) 12 mm thick for haunches.
5. The gradient of the drains are proposed in such way to create velocity of 1.20 m. / sec.
 - a.i. In case of steep localities where velocity is likely to exceed 2.40m. / Sec. Intermediate drop in invert have been provided.
6. All cross drains are proposed to be 1.5 times the size of the main drains proposed.

7. Existing covered SWD on 18 M Street Road shall be cleaned & repaired.
8. Side open spaces are proposed to be leveled consolidated and paved with proper slope to drain in such a way to dispose of the storm water into the S.W. Drains as proposed and/into the existing drains along Municipal Roads.
9. Water entrances of size 0.45mx0.30m clear opening with G.I. grating at top and silt trap section at bottom and connect same to S.W.D through 300 mm dia. laterals at 4.50mc/c distance near road side compound wall as per municipal specifications inside the plot, shall be provided.
10. Carriage entrance of AA Class loading slab at every at with opening of size 560 mm width. And 1740 mm depth SWD channel at center along with heavy duty frame and cover and locking arrangement shall be provided.
11. Proper arrangement to dispose of storm water from paved/unpaved open spaces R.G. ramp, approaches & internal road has been propose to avoid flooding during monsoon season.
12. The invert of the S.W.D on upstream side is proposed to be higher than the invert on downstream side drain.
13. The compound wall shall not be constructed on S.W.D wall.
14. Adequate nos. of weep holes (150mmdia)shall be provided in the compound wall wherever necessary.
15. All above S.W.D/Carriage entrance Work shall be constructed as per design of Lic. Structural engineer and stability & completion certificate from Lic. Structural Engineer shall be submitted before asking completion certificate from us.

B. For City

B1. For Plot Area below 500 sq. mts

B2. For Plot Area above 500 sq. mts

16. The minimum formation/ground level of plot under reference has been provided at minimum of 28.04 M(92.00)THDor15 cm.(5")above the formation level of proposed foot path or raised footpath/ existing access , abutting /proposed road, whichever is higher.

17. The Storm Water Drain suggest within the accompanying plan has been proposed to be laid as per Municipal Specifications,

a) Provision of water entrances having minimum size of 450mm x 300mm channel at ground level at sale 1 and 450mm x 600mm SWD channel at sale 2 ground level covered with M.S/C.I grating. The built up drain has been proposed to be covered with pre stressed R.C.C. /C.I. grating on 5mtr. center to center.

b) The access/internal layout roads/loop Roads has been Proposed with closed Storm Water Drain as shown in Accompanying plan. With regular water entrances at 15M., (50") and manholes at 15M (50") c/c.

18. 01 no's of catch pit chambers have been proposed to be Provided at point/points as shown in drawing which are 60 cm(2") below the invert of pipes, as shown in the accompanying plan.

Note:

1. We have proposed external storm water drain channel of 450 mm wide. Its depth is varying from 300 mm to 560mm (max.) at ground level. (sale 1 side of plot) Also we have proposed 450 mm x 600mm (D) at sale 2 side and final is 1740mm (D), concealed drain with 600mm x 600mm catch basins (chambers) covered with G.I. / D.I. grating on 5mtr. center to center. t ground level. (Three sides of plot)

(Point 16 & 17 to be ignored)

19. The internal S.W Drain arrangement has been proposed as follows:-

a) (i) For sale 1 & rehab 450 mm x 300mm (D) and final is 450mm dia. x 560mm (D), concealed drain with 600mm x 600mm catch basins (chambers) covered with G.I. / D.I. grating on 5mtr. center to center. at ground floor has been proposed with DWC pipe or RCC Hume pipe concealed with cement concrete encasing of pipes of GradeM-20 having minimum thickness of 15 cm. with slope 1:500.

(ii) 450mm .wide SWD channel built up drain at ground floor has been proposed in cement concrete of GradeM-20 having minimum thickness of walls of 20 cm. which shall be covered with gratings from points through minimum depth of 500 mm. at starting point @ slope 1:500.

b) (i) For sale 2 450 mm x 600mm (D) and final is 450mm dia. x 1740mm (D), concealed drain with 600mm x 600mm catch basins

(chambers) covered with G.I. / D.I. grating on 5mtr. center to center. at ground floor has been proposed with DWC pipe or RCC Hume pipe concealed with cement concrete encasing of pipes of GradeM-20 having minimum thickness of 15 cm. with slope 1:500.

(ii) 450mm .wide SWD channel built up drain at ground floor has been proposed in cement concrete of GradeM-20 having minimum thickness of walls of 20 cm. which shall be covered with gratings from points through minimum depth of 500 mm. at starting point @ slope 1:500.

c) The slope to the surface of terrace has been proposed in Such a way that all the storm water from terrace will flow towards down take pipes without stagnation.

20. The side/marginal open space shave been proposed to be Levelled, consolidated and paved with cement concrete With proper slope in such a way to discharge the storm water In to proposed storm water entrances.

22. Before staring of the work, invert levels of manhole on Municipal storm Water drain to which internal S.W. Drain, is to be connected shall be confirmed on site with respect to invert level of last catch pit chamber

NOTE:-

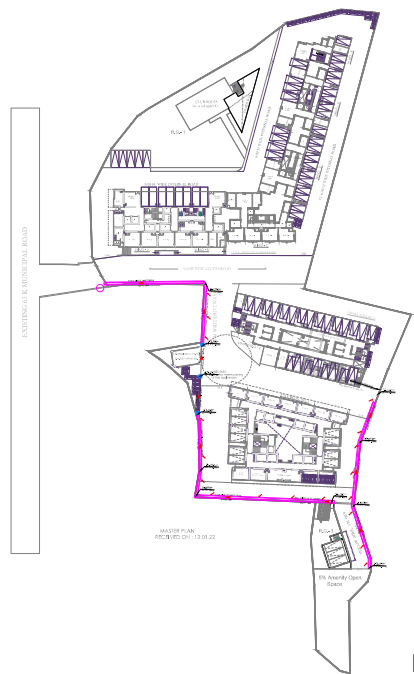
The remarks are offered without prejudice to the owner ship of land and status of the land and structures thereon.

Consultant's Signature

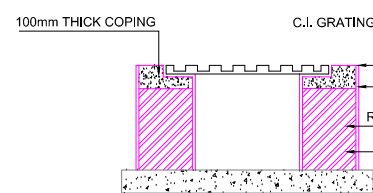
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EXISTING 63 K MUNICIPAL ROAD

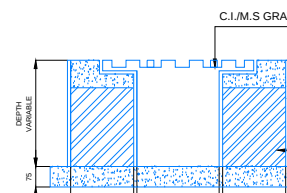
MASTER PLAN
RECEIVED ON : 12.01.22



KEY PLAN



TYPICAL STORM WATER DRAIN DETAIL



TYPICAL CATCH BASIN DETAIL

LEGEND:-

SR.NO.	DESCRIPTION	SYMBOL
1.	FLOW DIRECTION	
2.	SLOPE	
3.	450mm STORM WATER CHANNEL	
4.	CATCH BASIN DEPTH AS PER DRAWING	
5.	300R MM HUMME PIPE	

GENERAL NOTES :-

PRO	21.02.22	PRELIMINARY LAYOUT	PRM	SSS
ISSUE	DATE	REVISIONS	BY	APPD

PROJECT :	AARAMBH WING GH, MALAD - EAST
CLIENT :	SATELLITE
ARCHITECT :	SSA



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CONSULTING ENGINEERS
S.NO. 1000, Devdasyal Road, Mulund (W), Mumbai 400 080, India
Tel. No. +91 22 25684776 Fax. No. +91 22 25684781
Email : clancyglobal@gmail.com Website : www.clancy-global.com

TITLE : EXTERNAL STORM LAYOUT AT MASTER FLOOR PLAN				
DRG. No. 010-1713-P-03				
DRN	CHKD.	APPD.	DATE	SCALE
PRM	SSS	SSS	21.02.22	A1@1:200
REV	PRD			



GROUP SATELLITE[®]

SATELLITE DEVELOPERS PRIVATE LIMITED

7th Floor, S-14, Sulfaro Corporate Park, Andheri-Ghalkopar Link Road, Andheri (East), Mumbai 400 033. India | T: +91 22 6128 6800 E: info@groupsatellite.com
CIN: U24291MH1853PTC139230

Date: 18.02.2022

To,

Ministry of Environment, Forest & Climate Change
Integrated Regional Office,
Ground Floor, East Wing, New Secretariat Building,
Civil Lines, Nagpur - 440 001, Maharashtra.

Subject : Request for site inspection visit for proposed 'Slum Rehabilitation Scheme
at C.T.S. No. 16/A/2 of village Malad (East), Mumbai, Maharashtra.'

Reference : EC no. SEIAA-EC-0000002250, dated: 26/03/2020.

Respected Sir / Madam,

This is in reference with the above-mentioned subject. We have obtained Environment Clearance vide letter no. SEIAA-EC-0000002250, dated: 26/03/2020 for above mentioned Project.

During the process of amendment in EC as a part of statutory requirement, we need to submit a certified compliance report of EC conditions. Hence, we request you to conduct site inspection visit to grant us the same and oblige.

Contact Persons details

Name of Person	: Mr. Alpesh Gandhi
E-mail ID	: alpesh.gandhi@group-satellite.com
Mobile number	: 9820544284

Thanking You,

Yours Faithfully,

For, Satellite Developers Pvt. Ltd.



Authorized Signatory

Encl. 1. Copy of EC letter



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: March 26, 2020

To,
M/s. Satellite Developers Pvt. Ltd. Mr. Ankur Jain (CEO)
at C.T.S. No. 16/A/2 of village Malad (E), Mumbai.

Subject: Environment Clearance for Seeking revised EC for Slum Rehabilitation Scheme at Malad

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 128th meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 195th meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category 8 (a) B2 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below :-

1.Name of Project	Slum Rehabilitation Scheme at Malad
2.Type of institution	Private
3.Name of Project Proponent	M/s. Satellite Developers Pvt. Ltd. Mr. Ankur Jain (CEO)
4.Name of Consultant	M/s. ULTRA TECH
5.Type of project	SRA scheme
6.New project/expansion in existing project/modernization/diversification in existing project	Amendment and expansion in EC
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	Received Environmental Clearance from SEIAA, Maharashtra vide file no. SEIAA-EC-0000000608 dated 15.01.2019.
8.Location of the project	C.T.S. No. 16/A/2 of village Malad (E), Mumbai.
9.Taluka	Malad
10.Village	Malad
Correspondence Name:	M/s. Satellite Developers Pvt. Ltd.
Room Number:	S-14
Floor:	7th floor
Building Name:	Solitaire Corporate Park
Road/Street Name:	Andheri - Ghatkopar Link Road
Locality:	Andheri (E)
City:	Mumbai- 400 093
11.Whether in Corporation / Municipal / other area	Corporation - Municipal Corporation of Greater Mumbai (M.C.G.M.)/, Planning Authority - Slum Rehabilitation Authority (SRA)
12.IOD/IOA/Concession/Plan Approval Number	Received IOA No. PN/PVT/0183/20170602/AP from SRA dt. 01.08.2018 IOD/IOA/Concession/Plan Approval Number: IOA No. PN/PVT/0183/20170602/AP dated 01.08.2018 Approved Built-up Area: 13114.06
13.Note on the initiated work (If applicable)	Total constructed work (FSI+ Non FSI) on site till date: 17924.72 Sq.mt.
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	Received revised LOI from SRA dt. 28.11.2019
15.Total Plot Area (sq. m.)	9761.08 Sq.mt.
16.Deductions	380.01 Sq. mt.
17.Net Plot area	9381.07 Sq.mt.

SEIAA Meeting No: 195 Meeting Date: March 14, 2020 (SEIAA-STATEMENT-0000003715)
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SEIAA-EC-0000002250

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Shri. Anil Diggikar (Member Secretary SEIAA)

18 (a).Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): 39157.85 Sq. mt. (Including Fungible area)
	Non FSI area (sq. m.): 24432.51 Sq.mt.
	Total BUA area (sq. m.): 63590.36
18 (b).Approved Built up area as per DCR	Approved FSI area (sq. m.): 13114.06 Sq. mt. (Including Fungible area)
	Approved Non FSI area (sq. m.): 9938.07 Sq.mt.
	Date of Approval: 01-08-2018
19.Total ground coverage (m2)	3122.16 sq.mt.
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	33%
21.Estimated cost of the project	3670500000



Government of Maharashtra

22.Production Details				
Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable
23.Total Water Requirement				
Dry season:	Source of water	M.C.G.M		
	Fresh water (CMD):	456 KLD		
	Recycled water - Flushing (CMD):	229 KLD		
	Recycled water - Gardening (CMD):	10 KLD		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	695 KLD		
	Fire fighting - Underground water tank(CMD):	800 KL		
	Fire fighting - Overhead water tank(CMD):	230 KL		
	Excess treated water	294 KLD		
Wet season:	Source of water	M.C.G.M/ Partly by RWH		
	Fresh water (CMD):	456 KLD		
	Recycled water - Flushing (CMD):	229 KLD		
	Recycled water - Gardening (CMD):	NA		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	685 KLD		
	Fire fighting - Underground water tank(CMD):	800 KL		
	Fire fighting - Overhead water tank(CMD):	230 KL		
	Excess treated water	304 KLD		
Details of Swimming pool (If any)	Not applicable			

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Maharashtra

24.Details of Total water consumed

Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
Water Requirement	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

25.Rain Water Harvesting (RWH)	Level of the Ground water table:	8.8 mt. below ground level
	Size and no of RWH tank(s) and Quantity:	Rehabilitation Bldg: 1 RWH tank of capacity 50 KL, Sale Building 1: 1 RWH tank of capacity 34 KL, Sale Building 2: 1 RWH tank of capacity 100 KL
	Location of the RWH tank(s):	Underground
	Quantity of recharge pits:	NA
	Size of recharge pits :	NA
	Budgetary allocation (Capital cost) :	Rs. 27.40 Lacs
	Budgetary allocation (O & M cost) :	Rs. 1.09 Lacs/annum
	Details of UGT tanks if any :	Location of UG tanks: Underground

26.Storm water drainage	Natural water drainage pattern:	The storm water collected through the storm water drains of adequate capacity will be discharged in to the external drain.
	Quantity of storm water:	0.19 m3/sec
	Size of SWD:	600 mm wide with slope 1: 300

27.Sewage and Waste water	Sewage generation in KLD:	593 KLD
	STP technology:	Rehab Building : Moving Bed Bio Reactor (MBBR), Sale Building : Rotating Media Bio Disk Reactor (RMBR)
	Capacity of STP (CMD):	Rehabilitation bldg: 1 STP tank of capacity 200 KL, Sale Building 1: 1 STP tank of capacity 200 KL, Sale Building 2 & Clubhouse: 1 STP tank of capacity 500 KL
	Location & area of the STP:	Rehabilitation building : Ground level , Sale Building 1: Underground, Sale Building 2: Ground level
	Budgetary allocation (Capital cost):	Rs. 224.00 lacs
	Budgetary allocation (O & M cost):	Rs. 31.08 lacs/annum

28.Solid waste Management

Waste generation in the Pre Construction and Construction phase:	Waste generation:	Excavation material shall be partly reused on site for backfilling and leveling and remaining shall be disposed to authorized landfill site.
	Disposal of the construction waste debris:	Construction waste (Brick, blocks, ceramic tiles, marbles etc.) partly shall be used for waterproofing work, paving & landscaping areas and remaining shall be disposed to authorized landfill site.
Waste generation in the operation Phase:	Dry waste:	1366 kg/day
	Wet waste:	911 kg/day
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	89 kg/day
	Others if any:	Not Applicable
Mode of Disposal of waste:	Dry waste:	To Authorized recyclers
	Wet waste:	Treatment in Organic Waste Converter
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	Use as manure
	Others if any:	Not Applicable
Area requirement:	Location(s):	Ground floor
	Area for the storage of waste & other material:	67 sq. mt.
	Area for machinery:	36.00 sq. mt.
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 27.00 Lacs
	O & M cost:	Rs. 5.35 Lacs/annum

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Maharashtra

29.Effluent Charecterestics					
Serial Number	Parameters	Unit	Inlet Effluent Charecterestics	Outlet Effluent Charecterestics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



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30.Hazardous Waste Details							
Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

31.Stacks emission Details						
Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases
1	DG Set	--	--	--	--	--

32.Details of Fuel to be used				
Serial Number	Type of Fuel	Existing	Proposed	Total
1	HSD	--	--	--
Source of Fuel		--		
Mode of Transportation of fuel to site		--		

33.Energy		
Power requirement:	Source of power supply :	Reliance Energy
	During Construction Phase: (Demand Load)	150 KW
	DG set as Power back-up during construction phase	As per requirement
	During Operation phase (Connected load):	17462 KW
	During Operation phase (Demand load):	5927 KW
	Transformer:	--
	DG set as Power back-up during operation phase:	2 DG sets of 300 kVA each and 1 DG set of 600 kVA
	Fuel used:	Diesel
	Details of high tension line passing through the plot if any:	No

34.Energy saving by non-conventional method:	
Energy Saving Measures: • Solar based street lighting, landscape lighting, corridor staircase lighting, parking, services and common area lighting. • Provision of solar water heating system • Provision of LED lamps • Provision of electronic ballast • Saving due to timer and sensors • Use of hydropneumatic pumping system with VFD @ 30% minimum • Use of capacitors for common area load	

36.Detail calculations & % of saving:		
Serial Number	Energy Conservation Measures	Saving %
1	Overall Energy Saving	Rehabilitation Building: 16 %, Sale Building 1: 17 %, Sale Building 2: 18.5
2	Energy saving due to renewable energy	Rehabilitation Building: 8%, Sale Building 1: 6%, Sale Building 2: 6.5%

37.Details of pollution control Systems		
Source	Existing pollution control system	Proposed to be installed

Sewage	NA		Sewage Treatment Plant(STP)	
Biodegradable solid waste	NA		Organic Waste Converter	
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 135.00 Lacs		
	O & M cost:	Rs. 4.05 Lacs/annum		
38.Environmental Management plan Budgetary Allocation				
a) Construction phase (with Break-up):				
Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)	
1	Air Environment	Cost for Dust Suppression	1.44	
2	Air Environment	Air and Noise Monitoring: On site Sensors	0.50	
3	Air Environment	Air and Noise Monitoring: By outside MoEF & CC Approved Laboratory	0.22	
4	Water Environment	Drinking water analysis	0.03	
5	Land Environment	Site Sanitation	1.00	
6	Health & Hygiene	Disinfection- Pest Control	1.20	
7	Health & Hygiene	Health Check-up of workers	2.70	
b) Operation Phase (with Break-up):				
Serial Number	Component	Description	Capital cost Rs. In Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	AIR & NOISE ENVIRONMEN -Cost for Ambient Air quality & Noise Monitoring:	On site sensors	No set up cost is involved as already considered Construction Phase	0.50
2	AIR & NOISE ENVIRONMEN -Cost for Ambient Air quality & Noise Monitoring:	By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.22
3	AIR & NOISE ENVIRONMENT - Cost for DG Stack Exhaust Monitoring	3 nos. of stacks	No set up cost is involved	0.14
4	AIR & NOISE ENVIRONMENT - Cost for Plantation	RG area on ground	8.17	1.20
5	WATER ENVIRONMENT - Cost for Waste water treatment	Cost for sewage Treatment Plants	170.00	28.00
6	WATER ENVIRONMENT - Cost for water & waste water Monitoring	On site sensors	54.00	3.00
7	WATER ENVIRONMENT - Cost for water & waste water Monitoring	By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.08
8	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for RWH tanks	18.40	0.92

9	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for treatment unit for Rain Water collected in tanks	9.00	0.03
10	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for Rainwater Monitoring	No set up cost is involved	0.14
11	LAND ENVIRONMENT - Cost for Solid Waste Management	Cost for Treatment of biodegradable garbage in OWC	27.00	5.35
12	LAND ENVIRONMENT - Cost for Solid Waste Management	Cost for Manure Monitoring	No set up cost is involved	0.32
13	ENERGY CONSERVATION - Use of renewable energy	Solar system	135.00	4.05

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

40.Any Other Information

No Information Available

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	CRZ/ RRZ clearance obtain, if any:	Not Applicable
	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not Applicable
	Category as per schedule of EIA Notification sheet	8 (a) B2
	Court cases pending if any	Not Applicable
	Other Relevant Informations	--
	Have you previously submitted Application online on MOEF Website.	No
	Date of online submission	-

3. The proposal has been considered by SEIAA in its 195th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

I	Local planning authority to ensure the structural stability of building for which vertical expansion is proposed.
II	PP to abide the all conditions laid in the CFO NoC.
III	The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.
IV	PP to submit CER prescribed by MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project. The specific activities to be undertaken under CER to be carried out in consultation with Municipal Corporation or collector or Environment Department.
V	PP to ensure that CER plan gets approved from Municipal Commissioner.
VI	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
VII	SEIAA decided to grant EC for - FSI:21846.82 m2, Non-FSI: 13743.05 m2 and Total BUA:35589.87 m2 (Plan Approval no-PN/PVT/0183/20170602/AP/S-2, dated-24.01.2020, PN/PVT/0183/20170602/AP, date 20.12.2019)
VIII	PP to ensure that CER plan gets approved from Municipal Commissioner.
IX	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
X	SEIAA decided to grant EC for - FSI:21846.82 m2, Non-FSI: 13743.05 m2 and Total BUA:35589.87 m2 (Plan Approval no-PN/PVT/0183/20170602/AP/S-2, dated-24.01.2020, PN/PVT/0183/20170602/AP, date 20.12.2019)

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC& SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.

VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in building construction.
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.

XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.
XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise break-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should be reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in .
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D- Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

1. SHRI JOHNY JOSEPH, CHAIRMAN-SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
3. SHRI M.M.ADTANI, CHAIRMAN-SEAC-II
4. SHRI ANIL .D. KALE, CHAIRMAN SEAC-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC NAGPUR
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCB NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANDHERI
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN



GROUP SATELLITE®

SATELLITE DEVELOPERS PRIVATE LIMITED

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CIN: U24291MH1953PTC139280

Date: 15.06.2022

To,
State Level Expert Appraisal Committee – II (SEAC-II),
15th Floor, New Administration Building,
Environment Department, Mantralaya,
Mumbai, Maharashtra.

Subject : Submission of Undertaking for Slum Rehabilitation Scheme at C.T.S.
No. 16/A/2, Malad (E), Mumbai by M/s. Satellite Developers Private
Limited

We, M/s. Satellite Developers Private Limited, hereby undertake the following:

- Six monthly compliance reports to Regional Office (RO) of above mentioned project are being submitted regularly on half yearly basis. We have also submitted request letter to Regional Office, MoEF & CC, Nagpur for site visit and to obtain certified six-monthly compliance report. Now site visit of Regional Officer, MoEF & CC is awaited. We will submit certified six-monthly compliance report to your good office after receipt of the same
- All the environmental parameters and conditions in the earlier EC are fulfilled and complied with. We have also submitted the architect certificate stating that constructed area and building configuration completed on ground is in accordance with earlier EC.

In view of above we request your good office EC for above mentioned project may be processed in the interest of Ease of Doing Business (EoDB) policy of Govt. of India.

Thanking You,

Yours Truly,

For SATELLITE DEVELOPERS PRIVATE LIMITED



AUTHORIZED SIGNATORY



GROUP SATELLITE®

SATELLITE DEVELOPERS PRIVATE LIMITED

7th Floor, S-14, Solitaire Corporate Park, Andhara-Ghatkopar Link Road, Andheri (East), Mumbai 400 093, India | T: +91 22 6129 6900 E: info@groupsatellite.com
CIN: U24291MH1953PTC139290

Date: 01.04.2020

To,
State Expert Appraisal Committee (SEAC-ED),
Environment Department,
15th Floor, New Administration Building,
Mantralaya, Mumbai-400032

Subject : Submission of undertaking for reuse of excess treated sewage available from
Proposed Slum Rehabilitation Scheme at Village: Malad (E), Mumbai, State:
Maharashtra, by M/s. Satellite Developers Private Limited.

Respected Sir,

I Alpesh Gandhi (Project Head) in M/s. Satellite Developers Pvt. Ltd. hereby confirm that after full occupation of this project the total treated sewage available for reuse will be 563 KLD. Recycling of treated sewage shall be done for gardening (7 KLD) and flushing (241 KLD) within site which will help to reduce the quantity of treated sewage to the tune of 56% (315 KLD). Excess treated sewage generated from initially occupied building shall be used for the construction activity of remaining portion within site.

We hereby also propose to have tie up with Tanker water supplier agency named as Shree Sai Water to whom excess treated sewage shall be given free of cost. They will supply this excess treated sewage to for secondary purposes like for nearby construction activities which will help to reduce the quantity of treated sewage to the tune of 35% (197 KLD).

Thanking You,

FOR SATELLITE DEVELOPERS PRIVATE LIMITED



AUTHORIZED SIGNATORY



GROUP SATELLITE®

SATELLITE DEVELOPERS PRIVATE LIMITED

7th Floor 5-14, Solitaire Corporate Park, Andheri-Ghatkopar Link Road, Andheri (East), Mumbai 400 093, India T: +91 22 6129 6900 E: info@groupsatellite.com
CIN: U24291MH1953PTC139290

Date: 04/04/2022

To,
Assitant Municipal Commissioner(WO)
P/N Ward, Libartee Garden,
Malad(W)

Subject :- Permission to reuse of excess treated sewage generated from our project located in CTS No. 16/A/2 of village Malad (E), Mumbai.

Respected sir,

With reference to above mentioned subject, we are developing a Shun Rehabilitation Scheme at Village Malad(E) Appa Pada, that is under process for Environmental Clearance .

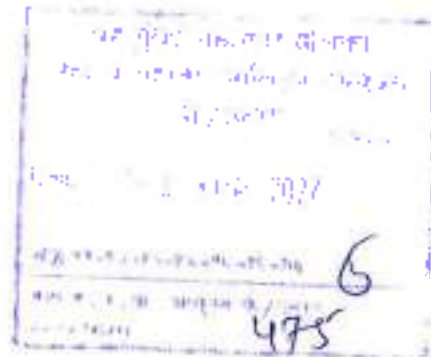
We would like to inform that in this project we have proposed to reuse treated sewage for flushing and gardening on the project site itself and proposed to provide excess treated sewage for watering of nearby garden area.

We request your good office to kindly grant your permission for reuse of excess treated sewage generated from our project in the Salvi Park (Bmc Ground) Malad (E) for gardening purpose.

Thanking you,
Yours faithfully,

For Satellite Developers Pvt.Ltd.

Authorised Signatory



eternal elegance

Subject to Mumbai Jurisdiction

M.: 93221 01988

99201 88031

99201 88041

98206 48531

Maharashtra Fresh Water Suppliers

FILTER WATER & B. M. C. WATER (WITH MEMO) SUPPLIERS

Rokadiya Cross Lane, Dhobi Ghat, Borivali (W), Mumbai - 92.

Prop. M. A. PATEL



To,
M/s. Satellite Developer Pvt. Ltd.,
Aarambh Project,
CTS. No. 16/A/2, Appa Pada,
Golatkar Compound, Gandhi Nagar,
Village Malad East,
Mumbai - 400 097.

Subject :- Regarding usage of excess treated sewage generated from your project.

Respected Sir,

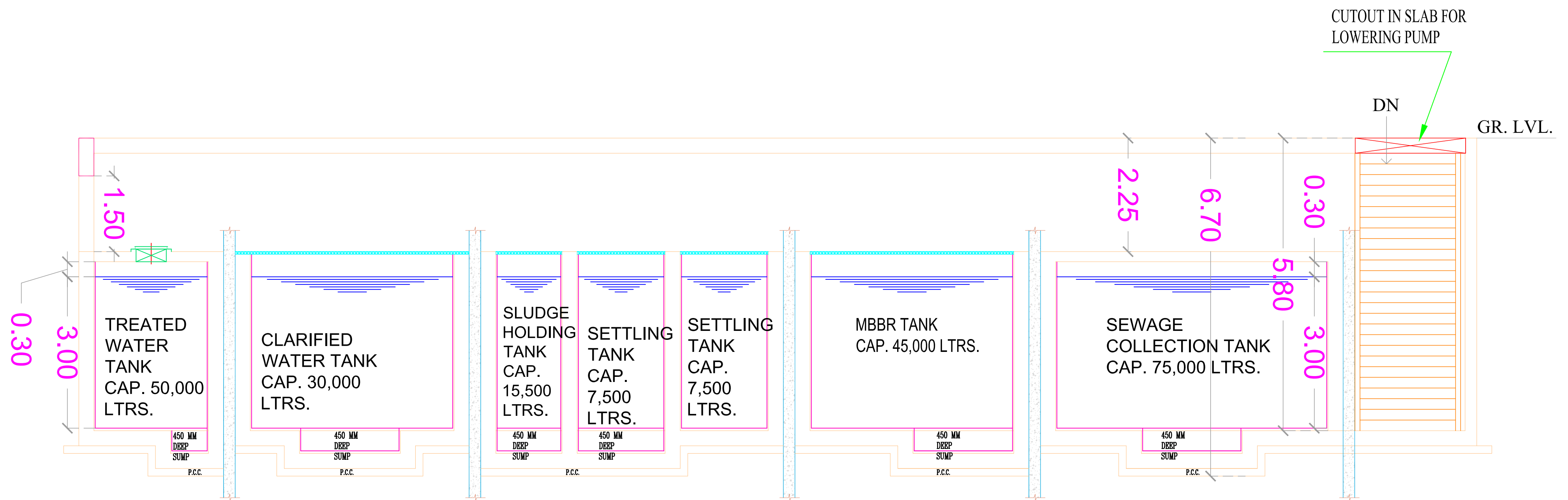
With reference to above, this is to confirm that we will use excess treated sewage water generated from your Proposed Residential Development with shops at plot bearing C.T.S. No. 16/A/2, village malad, Malad East, Taluka : Borivali for supplying water to nearby factories, construction sites, farms, etc. We will take the water free of cost.

Thanking You,

Yours Faithfully

PAN NO.: ARPPP9442B

For MAHARASHTRA FRESH WATER SUPPLIERS



STP DETAIL & (SECTION C-C)

SCALE :- 1:100



OFFICE OF THE ADDITIONAL COLLECTOR MUMBAI SUBURBAN DISTRICT,



Administrative Bldg. 9th Floor, Near Chetana College, Govt. Colony, Bandra (E), Mumbai-400 051.

NO.AC/D/SK-IV/MNL/SR-516/2017-18

DATE: 08/12/2017

READ:

- 1) Revenue and Forest Department, Govt. of Maharashtra Mumbai G.R.No.M.M.R.- 1092/P.K/KH dated 17-8-2001.
- 2) Maharashtra minor minerals Extraction (Development & Regulation) rule 2013
- 3) Revenue and Forest Department, Gaun.Khanij-10/0812/P.K.613/KH/dt.12/12/13
- 4) Revenue and Forest Department, Gaun.Khanij-10/1012/P.K.603/KH/dt.11/05/13.
- 5) Sanction No.SRA/ENG/PN/PVT/0183/20170602/AAI Dated 27/07/2017 Department of SRA
- 6) Application dated 05/10/2017 from M/s. Satellite Developers Pvt Ltd.
- 7) Excavation Permission as per the Approved Plan marked for proposed Excavation.

EXCAVATION PERMISSION AS AGAINST THE APPROVAL OF MCGM/SRA/MMRDA/MIDC/AIRPORT AUTHORITY

WHEREAS Application Dated 05/10/2017 of From Shri. Sharad Sadashiv Golatkar C/o. M/s. Satellite Developers Pvt Ltd Office at 7th Floor, S-14, Solitaire Corp. Park Andheri- Ghatkopar Link Road, Andheri (E), Mumbai-400093 applied for grant of permit for Excavation and removal of Minor Minerals Earth/Soil/Mudh/Murum to the extent of 1000 Brass only from the land bearing C.T.S No. 16 A (Pt), 16 A/1 to 2 & 17 of village Malad (E) Taluka Borivli District Mumbai Suburban.

The applicant has paid the Royalty of Rs. 4,00,000/- (Rs.Four Lakh Only) at the rate of Rs.400/- per brass and application fees of Rs. 2,000/- (Rs.Two Thousand Only) and Surface Rent of Rs. 8150/- N.A.Rate Rs.14.40 Area admi 566 Sq. Mtrs. which is not exceeding the land revenue and cesses on the land fixed by the Collector/Govt. from time to time

An amount of Rs. 4,10,150/- (Rs.Four Lakh Ten Thousand One Hundred Fifty Only) is credited in the SBI Counter Challn Pay GRN NO. MH00 7652404 201718M Dated 02/12/2017 and (District Mineral Foundation 10% Pay by D.D.No.756427 Dt.27/11/2017 Amount Rs. 40,000/- is collected in office)

In exercise of the powers conferred under rule 59 and 60 of the Maharashtra Minor Mineral Extraction (Development & Regulation) Rule 2013. The Collector, Mumbai Suburban District, having office at the above address hereby granted approved to issue Permit to, from, from Shri. Sharad Sadashiv Golatkar C/o. M/s. Satellite Developers Pvt Ltd. Office at 7th Floor, S-14, Solitaire Corp. Park, Andheri- Ghatkopar Link Road, Andheri (E), Mumbai-400093 for extraction and removal of minor mineral Earth/Soil/Mudh/Murum to the extent of 1000 Brass (One Thousand Only) for the period of **Two Months** from the date of issue of this permit order i.e. with effect from the date 08/12/2017 to 07/02/2018 subject to the following conditions:

1. The Permit holder shall carry out excavation operation within the prescribed limit demarcated on map as ABCD shown in Red coloured ink.
2. The Permit holder shall have to complete excavation and removal operation of the permitted quantity of Earth/Soil/Mudh/Murum within the prescribed period only. Under no circumstances the said period will be extended.
3. The failure of the Permit holder to complete excavation and removal of permitted quantity of murum shall be liable to the forfeiture of the royalty already paid for the quantity not excavated and removal within the prescribed period and he shall not be entitled to claim any refund of the royalty already paid.
4. The Permit holder shall be responsible to pay the compensation to the Govt. for damage, if any made to the land and the decision of the Competent Officer shall be final in respect of determination of the damage
5. The Govt. shall be immune against any claims of third parties of such claim of any shall be settled by the Permit holder himself.
6. The Permit holder shall report all accidents immediately to the Collector, Sub Divisional Officer, Tahsildar of the area, Police Department of the area and thereafter to all the licensing authorities concerned.
7. The Permit holder shall have no rights over the extracted material and other property lying in permit area after the date of expiry of the Permit.

8. If any excess quantity over that permitted is found to be removed the material shall be confiscated and the Permit holder shall be liable for penal action under the provisions of section 48 (7) of Maharashtra Land Revenue Code, 1966.
9. The Permit holder shall allow inspection of the excavation of operation and transit passes book to the Collector, Sub Divisional Officer, or any officer authorized by him and give him reasonable opportunity for carrying out such inspection.
10. The Permit holder shall not cut any trees during the extraction of minor mineral.
11. The Permit holder shall issue transit pass giving all the details therein and duly sealed by the Collector, Sub Divisional Officer / District Mining Officer with every dispatch of mineral, failing which the transport shall be treated as unauthorized and shall be liable for penalty as per the provisions of section 48(7) and 48(1) of Maharashtra Land Revenue Code, 1966.
12. Permit holder should keep the day to day records of excavations, filling, transportation/dispatch of minor minerals in the production, sale cum dispatch registers duly certified by this office, also submit the monthly progress report to this office on 5th day of every month.
13. In the event of the breach of any of the above condition the Permit shall be cancelled and the royalty paid by the Permit holder shall be forfeited to the State Government and the Permit holder shall be liable to such other penal action according to the provisions of the Maharashtra Land Revenue Code and Rules there under and the minor mineral extracted shall become the absolute property of Govt.
14. That in case of increase in royalty rate hereafter the Permit holder will have to pay the difference amount of the royalty rates failing which the same will be recovered as arrears of land revenue by adopting the coercive measures.
15. Government reserves the right to cancel the excavation Permit any time without notice and without assigning any reason.
16. The letter is granted presuming that the papers submitted by the applicants/ POA/Occupant/Owners are genuine & for any dispute arising out of documents submitted by applicant, POA/Occupant/Owner will be held responsible.
17. Care should be taken due to excavation works slum dwellers are not affected.
18. Under no circumstances the excavated material like ordinary clay, ordinary earth, stones and all sizes etc. should be dumped/ spreaded over the areas of mangroves and 50 metres on all sides of mangroves regardless of ownership of the land. In case of committing breach of the conditions the permit is revoked without any notice, and the permit holder will be liable to for penal action in accordance with the concern provision of rules, acts and the Order of the Hon. High Court Dt.06-10-2005.
19. The validity of this permit is upto 07/02/2018 and this Excavation permission is use only for digging Foundation for Construction and Development Plan Sanction as per Planning Authority.
20. If the Excavation is not done as per the sanctioned plan and LOD from development Authority and also any authentic complaint raise by complaining or challenging in the court about sanction permission then the permission of excavation automatically null & void from the date issue of this excavation permission.
21. The rate of royalty are liable to be revised by time to time, and the permit holder should pay the difference of amount of royalty on account of such revision of rates by time to time.
22. This Permit is issued only for Excavation of minor mineral of purpose and all other necessary permissions from other Authority/department should take On applicant.

Approved by Hon. Addl. Collector



For Addl. Collector
Mumbai Suburban District

To,

Sri. Sharad Sadashiv Gokhale
C/o. M/s. Satellite Developers Pvt Ltd
7th Floor, S-14, Solitaire Corp. Park
Andheri- Ghatkopar Link Road,
Andheri (E), Mumbai-400093



OFFICE OF THE ADDITIONAL COLLECTOR MUMBAI SUBURBAN DISTRICT

Administrative Bldg. 9th Floor, Near Chetana College, Govt. Colony, Bandra (E), Mumbai 400 051.

NO.AC/DESK-IV/MNL/SR-262/2021-22

DATE: 30/06/2021



READ:

- 1) Revenue and Forest Department, Govt. of Maharashtra, Mumbai G.R.No.M.M.R-1092/P.K/KH dated 17.8.2001.
- 2) Maharashtra minor minerals Extraction (Development & Regulation) rule 2013.
- 3) Revenue and Forest Department, Gaoth Kharij-10/08/12 P.K. 61/KH/13-12-13.
- 4) Revenue and Forest Department, Gaoth Kharij-10/08/12 P.K. 605-KH/13-05-13.
- 5) Revenue and Forest Department, Notification dated-12.01.2018.
- 6) Sanction ID No. PN/PVT/0183/20170602/APS-2AA/- Dated 28/01/2021 Department of Executive Engineer Building Proposal Zone 'P/N' Wards by MCGM.
- 7) Application dated 23/06/2021 from M/s. Satellite Developers Pvt. Ltd.
- 8) Excavation Permission as per the Approved Plan marked for proposed Excavation.

EXCAVATION PERMISSION AS AGAINST THE APPROVAL OF MCGM/SRA/MMRDA/MIDC/AIRPORT AUTHORITY

WHEREAS Application Dated 23/06/2021 of From Satellite Developers Pvt. Ltd. Office at 7th Floor, S-14, Solitaire Corporate Park, Andheri - Ghatkopar Link Road, Andheri (E), Mumbai-400093 applied for grant of permit for Excavation and removal of Minor Minerals Earth/Soil/Mud/Murum to the extent of (36 m X 18 m X 6.50 m = 4212 Cu.m. = 1488.53 = 1500 Brass) 1500 Brass only from the land bearing C.T.S No. 16/A/2 S.No. 237 (Pt)/2 of village Malad (E) Taluka Borivli, Situated at- District Mumbai Suburban.

The applicant has paid the Royalty of Rs. 6,00,000/- (Rs. Six Lakh Only) at the rate of Rs.400/- per brass and application fees of Rs. 2,000/- (Rs. Two Thousand Only) and Surface Rent of Rs. 6966/- N.A. Rate Rs.10.74 Area adm. 648 Sq. Mtrs. which is not exceeding the land revenue and cesses on the land fixed by the Collector/Govt. from time to time.

An amount of Rs. 6,08,966/- (Rs. Six Lakh Eight Thousand Nine Hundred Sixty Only) is credited in the IDBI BANK CRN NO. MH002929998202122E Dated 29/06/2021 and 10% of the total Royalty payable to the District Mineral Foundation Contribution Fund paid by D.D.No.810414 Dt.30/06/2021 Amount Rs. 60,000/- has been deposited in this office.

In exercise of the powers conferred under rule 59 and 60 of the Maharashtra Minor Mineral Extraction (Development & Regulation) Rule 2013. & rule 46 (a) (i) of the Maharashtra Minor Mineral Extraction (Development and Regulation) (Amendment) Rules, 2017; The Collector, Mumbai Suburban District, having office at the above address hereby granted approved to issue Permit to, from, Satellite Developers Pvt. Ltd. Office at 7th Floor, S-14, Solitaire Corporate Park, Andheri - Ghatkopar Link Road, Andheri (E), Mumbai-400093 for extraction and removal of minor mineral Earth/Soil/Mud/Murum to the extent of 1500 Brass (One Thousand Five Hundred Only) for the period of 90 Days from the date of issue of this permit order i.e. with effect from the date 30/06/2021 to 29/09/2021 subject to the following conditions:

1. The Permit holder shall carry out excavation operation within the prescribed limit demarcated on map as ABCD shown in Red colored ink.
2. The Permit holder shall have to complete excavation and removal operation of the permitted quantity of Earth/Soil/Mud/Murum within the prescribed period only. Under no circumstances the said period will be extended.
3. The failure of the Permit holder to complete excavation and removal of permitted quantity of Murum shall be liable for forfeiture of the royalty already paid for the quantity not excavated and removal within the prescribed period and he shall not be entitled to claim any refund of the royalty already paid.
4. The Permit holder shall be responsible to pay the compensation to the Govt. for damage, if any, made to the land and the decision of the Competent Officer shall be final in respect of determination of the damage.
5. The Govt. shall be immune against any claims of third parties of such claim of any kind be settled by the Permit holder himself.
6. The Permit holder shall report all accidents immediately to the Collector, Sub Divisional Officer, Tahsildar of the area, Police Department of the area and thereafter to all the licensing authorities concerned.

7. The Permit holder shall have no rights over the extracted material and other property lying in permit area after the date of expiry of the Permit.
8. If any excess quantity over that permitted is found to be removed the material shall be confiscated and the Permit holder shall be liable for penal action under the provisions of section 48 (7) of Maharashtra Land Revenue Code, 1966.
9. The Permit holder shall allow inspection of the excavation of operation and transit passes back to the Collector, Sub Divisional Officer, or any officer authorized by him and give him reasonable opportunity for carrying out such inspection.
10. The Permit holder shall not cut any trees during the extraction of minor mineral.
11. The Permit holder shall issue transit pass giving all the details therein and duly sealed by the Collector, Sub Divisional Officer, District Mining Officer with every dispatch of mineral, failing which the transport shall be treated as unauthorized and shall be liable for penalty as per the provisions of section 48(7) and (8) of Maharashtra Land Revenue Code, 1966.
12. Permit holder should keep the day to day records of excavations, transportation/dispatch of minor minerals in the production, sale cum dispatch registers duly certified by this office, also submit the monthly progress report to this office on 5th day of every month.
13. In the event of the breach of any of the above condition the Permit shall be cancelled and the royalty paid by the Permit holder shall be forfeited to the State Government and the Permit holder shall be liable to such other penal action according to the provisions of the Maharashtra Land Revenue Code and Rules there under and the minor mineral Extracted shall become the absolute property of Govt.
14. That in case of increase in royalty rate hereafter the Permit holder will have to pay the difference amount of the royalty rates falling which the same will be recovered as arrears of land revenue by adopting the coercive measures.
15. Government reserves the right to cancel the excavation Permit any time without notice and without assigning any reason.
16. The letter is granted presuming that the papers submitted by the applicants/ POA/Occupant/Owners are genuine & for any dispute arising out of documents submitted by applicant, POA/Occupant/Owner will be held responsible.
17. Care should be taken due to excavation works slum dwellers are not affected.
18. Under no circumstances the excavated material like ordinary clay, ordinary earth, stones and all sizes etc. should be dumped/ spreaded over the areas of mangroves and 50 meters' on all sides of mangroves regardless of ownership of the land. In case of committing breach of the conditions the permit is revoked without any notice, and the permit holder will be liable to for penal action in accordance with the concern provision of rules, acts and the Order of the Hon. High Court Dt.06-10-2005.
19. The validity of this permit is up to 29/09/2021 and this Excavation permission is use only for digging Foundation for Construction and Development Plan Sanction as per Planning Authority.
20. If the excavation is not done as per the sanctioned plan and 1983 of the Planning Authority, in future any automatic prohibition raise by completing or challenging in the court about sanction permission then the permission of excavation automatically null & void from the date issue of this excavation permission.
21. The rate of royalty are liable to be revised by time to time, and the permit holder should pay the difference of amount of royalty on account of such revision of rates by time to time.
22. This Permit is issued only for Excavation of minor mineral of purpose and all other necessary permissions from other Authority/department should taken by applicant.
23. The permit Holder has to follow the Guidelines, Issued by Govt. of India, Govt. of Maharashtra State, Regarding Covid-19's Pandemic.
24. As per Ministry of Home Affairs (MHA) Order no.40 3/2020-D1-3(A) Dated 1st May, 2020, Activities in Red Zones (Hotspot) (Outsides Containment Zone), "Construction Activities in Urban areas is Permitted only in Site Construction (where workers are available on site and no workers are required to be brought in from outside), permit hold should also strictly follow all the National Direction for "Covid-19" Management (Annexure-B)."

(O.C. Signed by Hon. Addl. Collector (M.D.))



[Signature]
For Additional Collector
Mumbai Suburban District

To,
M/s. Satellite Developers Pvt. Ltd.
7th Floor, S-14, Solitaire Corporate
Park, Andheri - Ghatkopar Link Road,
Andheri (E), Mumbai-400093

MUNICIPAL CORPORATION OF GREATER MUMBAI
SOLID WASTE MANAGEMENT DEPT.

Ex Engineer (SWM) Z-4, Ashiana Bldg, 1st floor, Shantilal Modi Road, Near R.R.P. Municipal School, Kandivali (West), Mumbai 400 067

E.E./SWM/1070/2-17/11/2-12-17

EXCAVATION MATERIAL ONLY
VALIDITY UP TO : 07.02.2018.

To,

M/s. Satellite Developers Pvt. Ltd.
7th Floors, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road,
Andheri (E), Mumbai - 400 093.

Sub:- Permission for handling & transportation of waste generated under "Debris management Plan for proposed building at C.E.S. No.16A (pt.), 16A/1&2, 17 of village Malad (E) Mumbai.

Ref :- 1) Your letter dtd. 11.12.2017.

2) A.E (SWM) P/North report u/n.A.E/P/N/ 7894 /SWM. Dtd. 12/12/2017.

3) Proforma 'A' & 'B' duly filled in by Developer & Architect.

4) L.O.A. u/no. SRA/ENG/PN/PVT/0183/20170602/AP of 27.07.2017

5) Excavation Permission u/no. AC/DESK-IV/MNL/SR-516/2017-18.dtd.08.12.2017

6) **Unloading site details.**

a) Location:- Development of Land for Rehabilitation & Resettlement (R&R) of Mumbai Trans Harbour Link (MTHL) PAP's near Kundevahal village at Pushpak Node, Navi Mumbai

i) CIDCO/LE(AP-11)/2017/479 dtd. 09.10.2017

ii) JMMIP/2017/0304 dtd. 27.11.2017

Letter from M/s. J.M. Mhatre Infra Pvt. Ltd. to M/s.Mishra Transport Service dtd. 27/11/2017.

Before unloading take the permission from concerned authority.

7) Transportation Agency M/s.Mishra Transport Service.

(By use of M/s. Balaji Earthmovers vehicles, list attached.)

With reference to your application along with the documents submitted to this office and site inspection report by the AE (SWM) P/N Ward as referred above, it is observed that, you will handle & transport approximately **1000(One Thousand Only) Brass of Excavation material** to the unloading site at **Development of land for Rehabilitation & Resettlement (R & R) of Mumbai Trans Harbour Link (MTHL) PAP's near Kundevahal village at Pushpak Node, Navi Mumbai.** There is no objection to issue approval to the debris management plan submitted by you under the "Construction Demolition Waste (Management & Disposal) Rules 2006", for the subject site. MCGM can revoke this approval if any following conditions are not followed or in any such unavoidable circumstances. You shall abide by all the terms & conditions (Sr. no. 1 to 19) as below.

This approval is not a permission for demolition or permission for excavation or permission for dumping but this is approval to the debris management plan which is proposed and submitted by the architect /builder in respect of Debris/earth generated at their site, due to demolition / excavation and its disposal to the proposed disposal site.

- 1) You/your sub contracting agencies working at site shall ensure that proper barricading and enclosure (**Minimum 20ft.**) Are provided at construction site to avoid escape of fugitive dust into the atmosphere, as well as its deposits to spread on street / footpaths / drains etc
- 2) You/your sub contracting agencies working at site shall ensure that, demolition debris/construction waste generated is stored in proper container till its utilizations & not be deposited on roads or footpath.
- 3) The vehicles deployed shall abide by the vehicle registration numbers given to this office and see that they conform to R.T.O. Rules & Regulations and Pollution Control Norms and be properly covered with tarpaulin or any other suitable material firmly on the vehicle to avoid any escape and fall of waste on road. Any change in transport vehicles shall be intimated & get approved from this office before implementation. **Transportation of C&D waste shall be done in day time only.**

- 4) You/your sub contracting agencies will ensure that the transport agency appointed by you should follow the route map submitted by you for transporting the earth/debris from subject site to the unloading site with due permission of the authorities as per prevailing rules.
- 5) The vehicles specified shall not create any nuisance i.e. spilling slurry / waste on road while transportation. The body, wheels, chassis etc, shall therefore be washed and cleaned thoroughly to avoid spreading of waste on road.
- 6) Each of the vehicle deployed under this approval shall carry the copy of this approval while transportation of waste. The challan used for transportation and unloading shall clearly specify all the details including loading and disposal site.
- 7) You are allowed to transport the quantity as per approval given.
- 8) You/your sub contracting agencies will adhere to the pollution control norms as per prevailing rules.
- 9) The vicinity of the site inside & outside the subject plot shall be maintained clean.
- 10) You/your sub contracting agencies will ensure that pre-emptive steps are taken to avoid any disaster due to excavation of earth to the neighboring structures/ compound walls/ roads/ S.W.D. etc. and excavation work will strictly be carried out under the supervision and responsibility of structural engineer.
- 11) While carrying out the work, if any damage occurred to the neighboring structure / compound wall / road / S.W.D. etc. or during dumping / disposal of excavated earth, creates flooding situation to nearby area/house, then developer / owner / builder will be held responsible and they have to carry out repairs of damaged structure/compound wall/Roads/S.W.D. etc. free of cost.
- 12) You/your sub contracting agencies shall ensure that necessary permission from the Collector for excavation purpose be obtained before actual starting of the work and copy of the same shall be submitted to this office for perusal.
- 13) The NOC / Permission required from Central / State or any Government authority shall be complied with before execution of the work.
- 14) The approval is granted presuming that the papers submitted by the applicants / POA / Occupant / Owners are genuine & for any dispute arising out of documents submitted by applicant, POA / Occupant / Owner will be held responsible.
- 15) This permission is not valid for the areas covered with mangroves & CRZ, contravention of this clause will attract prosecution under the Environment Protection Act & other relevant Act.
- 16) The approval granted hereto does not absolve the approval required from the other department of M.C.G.M. OR Govt.
- 17) In case of disputes, court matters etc. related to the subject site/land/property, this C.& D. clearance certificate cannot be treated as a valid proof. For fraudulent practice the owner/agent is actionable as per rules.
- 18) Violation of any condition stated above will attract the action as per the C. & D. Rules & MCGM may revoke this approval if any above conditions are violated.
- 19) **This permission is valid up to 07.02.2018.**

Yours Faithfully


Executive Engineer (SWM) Zone - IV

BALAJI EARTHMOVERS

Tel : 2892 5998

Fax : 2892 3055

9820128944

9322243354

Specialist In : Earth Cutting Filling & Rock Cutting, Poclain, J.C.B. & Dumper Suppliers

Office : 604, 605 / B wing, Shri Kedarnath CHS Ltd., Opp. Gokul Anand Hotel
W. E. Highway, Dahisar (E), Mumbai - 400068 • Email : balaji_transport5268@yahoo.com

6/12/17

To,

M/S. Soddhulal Development Pvt. Ltd.

.....Dated (15).....

(List of Small Dumper)

SR.NO.	VEHICLE NO.
1	MH04-GF-6966
2	MH48-AG-3366
3	MH04-EB-1066
4	MH04-EL-7366
5	MH04-GF-6966
6	MH04-EB-7086

List of Big Dumper (TOURUS)

1	MH04-GR-2766	15	MH-04-GC-9966
2	MH04-GR-4066	16	MH-04-GC-9766
3	MH04-GR-7966	17	MH-04-GF-160
4	MH04-GF-4417	18	MH-46-AF-1125
5	MH48-T-5279	19	MH-46-AF-1080
6	MH04-HD-366	20	MH-48-AG-5766
7	MH04-ID-466	21	MH-48-AG-5866
8	MH04-EL-8466	22	MH04-EY-8422
9	MH04-EL-8566	23	MH04-EY-6661
10	MH04-GF-4646	24	MH04-GC-1587
11	MH04-GF-4416	25	MH-43-Y-1672
12	MH-46-AF-1152	26	MH-46-AF-1800
13	MH-46-AF-1107	27	MH-46-EY-3159
14	MH-04-GC-9966	28	MH-46-AF-5027
		29	MH-46-EY-7340

For
Balaji Earthmovers
6/12/2017



MUNICIPAL CORPORATION OF GREATER MUMBAI
SOLID WASTE MANAGEMENT DEPT.

Ex. Engineer (SWM) Z-4, Ashiana bldg, 1st floor, Shantilal Modi Road, Near R.R.P. Municipal School, Kandivali (West), Mumbai 400 067.

E. E. / SWM 12-76 12-IV/DT 2.2.1Q

EXCAVATION MATERIAL ONLY
VALIDITY UP TO : 28.04.2018.

To,
M/s. Satellite Developers Pvt. Ltd.,
7th Floor, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road,
Andheri (E), Mumbai - 400 093.

Sub:- Permission for handling & transportation of waste generated under "Debris management Plan for proposed building at SRA Scheme on land bearing C.T.S. No.16A(pt.), 16A/1 & 2, 17 of village Malad (E) Mumbai.

Ref :- 1) Your letter dtd. 01.01.2018 .

2) A.E (SWM) P/North report u/n.A.E/P/N/ 9494 /SWM. Dtd. 01/02/2018.

3) Proforma 'A' & 'B' duly filled in by Developer & Architect.

4) I.O.A. u/no. SRA/ENG/PN/PVT/0183/20170602/AP of 12.01.2018.
& C.C. dtd. 23.01.2018.

5) Excavation Permission u/no. AC/DESK-IV/MNL/SR-644/2017-18.dtd.29.01.2018.

6) Unloading site details.

a) Location:- Development of Land for Rehabilitation & Resettlement (R&R) of Mumbai Trans Harbour Link (MTHL) PAP's near Kundevahal village at Pushpak Node, Navi Mumbai.

i) CIDCO/EE(AP-II)/2017/479 dtd. 09.10.2017

ii) JMMIPL/2017/0305 dtd. 27.11.2017

Letter from M/s. J.M. Mhatre Infra Pvt. Ltd. to M/s.Mishra Transport Service dtd. 27/11/2017.

Before unloading take the permission from concerned authority.

7) Transportation Agency M/s.Mishra Transport Service .

(By use of M/s. Sai Transport's following vehicles)

MH-04-EY-7340	MH-48-AG-2930	MH-48-AG-8024	MH-48-AG-8025
MH-48-AG-2121	MH-48-AG-7309	MH-04-EY-8643	_____

With reference to your application along with the documents submitted to this office and site inspection report by the AE (SWM) P/N Ward as referred above, it is observed that, you will handle & transport approximately 1500(One Thousand Five Hundred) Brass of Excavation material to the unloading site at Development of land for Rehabilitation & Resettlement (R & R) of Mumbai Trans Harbour Link (MTHL) PAP's near Kundevahal village at Pushpak Node, Navi Mumbai. There is no objection to issue approval to the debris management plan submitted by you under the "Construction Demolition Waste (Management & Disposal) Rules 2006", for the subject site. MCGM can revoke this approval if any following conditions are not followed or in any such unavoidable circumstances. You shall abide by all the terms & conditions (Sr. no. 1 to 19) as below.

This approval is not a permission for demolition or permission for excavation or permission for dumping but this is approval to the debris management plan which is proposed and submitted by the architect /builder in respect of Debris/earth generated at their site, due to demolition / excavation and its disposal to the proposed disposal site.

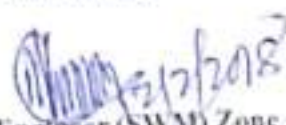
- 1) You/your sub contracting agencies working at site shall ensure that proper barricading and enclosure (Minimum 20ft.) Are provided at construction site to avoid escape of fugitive dust into the atmosphere, as well as its deposits to spread on street / footpaths / drains etc.
- 2) You/your sub contracting agencies working at site shall ensure that, demolition debris/construction waste generated is stored in proper container till its utilizations & not be deposited on roads or footpath.
- 3) The vehicles deployed shall abide by the vehicle registration numbers given to this office and see that they confirm to R.T.O. Rules & Regulations and Pollution Control Norms and be properly covered with tarpaulin or any other suitable material firmly on the vehicle to avoid any escape and fall of waste on road. Any change in transport vehicles shall be intimated & get approved from



this office before implementation. **Transportation of C&D waste shall be done in day time only.**

- 4) You/your sub contracting agencies will ensure that the transport agency appointed by you should follow the route map submitted by you for transporting the earth/debris from subject site to the unloading site with due permission of the authorities as per prevailing rules.
- 5) The vehicles specified shall not create any nuisance i.e. spilling slurry / waste on road while transportation. The body, wheels, chassis etc, shall therefore be washed and cleaned thoroughly to avoid spreading of waste on road.
- 6) Each of the vehicle deployed under this approval shall carry the copy of this approval while transportation of waste. The challan used for transportation and unloading shall clearly specify all the details including loading and disposal site.
- 7) You are allowed to transport the quantity as per approval given.
- 8) You/your sub contracting agencies will adhere to the pollution control norms as per prevailing rules.
- 9) The vicinity of the site inside & outside the subject plot shall be maintained clean.
- 10) You/your sub contracting agencies will ensure that pre emptive steps are taken to avoid any disaster due to excavation of earth to the neighboring structures/ compound walls/ roads/ S.W.D. etc. and excavation work will strictly be carried out under the supervision and responsibility of structural engineer.
- 11) While carrying out the work, if any damage occurred to the neighboring structure / compound wall / road / S.W.D. etc. or during dumping / disposal of excavated earth, chokes flooding situation to nearby area/house, then developer / owner / builder will be held responsible and they have to carry out repairs of damaged structure/compound wall/Roads/S.W.D. etc. free of cost.
- 12) You/your sub contracting agencies shall ensure that necessary permission from the Collector for excavation purpose be obtained before actual starting of the work and copy of the same shall be submitted to this office for perusal.
- 13) The NOC / Permission required from Central / State or any Government authority shall be complied with before execution of the work.
- 14) The approval is granted presuming that the papers submitted by the applicants / POA / Occupant / Owners are genuine & for any dispute arising out of documents submitted by applicant, POA / Occupant / Owner will be held responsible.
- 15) This permission is not valid for the areas covered with mangroves & CRZ, contravention of this clause will attract prosecution under the Environment Protection Act & other relevant Act.
- 16) The approval granted hereto does not absolve the approval required from the other department of M.C.G.M. OR Govt.
- 17) In case of disputes, court matters etc. related to the subject site/land/property, this C& D clearance certificate cannot be treated as a valid proof. For fraudulent practice the owner/agent is actionable as per rules.
- 18) Violation of any condition stated above will attract the action as per the C. & D. Rules & MCGM may revoke this approval if any above conditions are violated.
- 19) **This permission is valid up to 28.04.2018.**

Yours Faithfully


Executive Engineer (SWM) Zone - IV



OFFICE OF THE ADDITIONAL COLLECTOR MUMBAI SUBURBAN DISTRICT,

Administrative Bldg. 9th Floor, Near Chetana College, Govt. Colony, Bandra (E), Mumbai-400 051.

NO.AC/DESK-IV/MNL/SR-644/2017-18

DATE: 29/01/2018

READ:

- 1) Revenue and Forest Department, Govt. of Maharashtra Mandalaya Mumbai G.R.No.M.M.R- 1092/P.K/KH dated 17-8-2003.
- 2) Maharashtra minor minerals Extraction (Development & Regulation) rule 2013
- 3) Revenue and Forest Department, Gasm Khanij-10/0812/P.K.613 KH dt.12/12/13
- 4) Revenue and Forest Department, Gasm Khanij-10/1012/P.K.603 KH dt.11/05/15.
- 5) Sanction No.SRA/ENG/PN/PVT/0183/20170602/APAt Dated 12/01/2018 Department of SRA
- 6) Application dated 19/01/2018 from M/s. Satellite Developers Pvt. Ltd.
- 7) Excavation Permission as per the Approved Plan marked for proposed Excavation.

EXCAVATION PERMISSION AS AGAINST THE APPROVAL OF MCGM/SRA/MMRDA/MIDC/AIRPORT AUTHORITY

WHEREAS Application Dated 19/01/2018 of From Satellite Developers Pvt.Ltd. Office at 7th Floor, S-14, Solitaire Corporate Park, Andheri-Ghatkopar Link Road, Andheri (E), Mumbai-400093 applied for grant of permit for Excavation and removal of Minor Minerals Earth/Soil/Mudh/Murum to the extent of 1500 Brass only from the land bearing C.T.S No. 16 A (pt), 16 A/1 to 2 & 17 of village Malad (E) Taluka Borivali District Mumbai Suburban.

The applicant has paid the Royalty of Rs. 6,00,000/- (Rs.Six Lakh Only) at the rate of Rs.400/- per brass and application fees of Rs. 2,000/- (Rs.Two Thousand Only) and Surface Rent of Rs. 25293/- N.A.Rate Rs.10.74 Area adm. 2355 Sq. Mtrs. which is not exceeding the land revenue and cesses on the land fixed by the Collector/Govt. from time to time.

An amount of Rs. 6,27,293/- (Rs.Six Lakh Twenty-seven Thousand Two Hundred Ninety-three Only) is credited in the IDBI Bank Online E Pay GRN NO. MH00 9764280 201718E Dated 23/01/2018 and (District Mineral Foundation 10% Pay by D.D.No.078620 Dt.22/01/2018 Amount Rs. 60,000/- is collected in office)

In exercise of the powers conferred under rule 59 and 60 of the Maharashtra Minor Mineral Extraction (Development & Regulation) Rule 2013, The Collector, Mumbai Suburban District, having office at the above address hereby granted approved to issue Permit to, from, from Satellite Developers Pvt.Ltd. Office at 7th Floor, S-14, Solitaire Corporate Park, Andheri-Ghatkopar Link Road, Andheri (E), Mumbai-400093 for extraction and removal of minor mineral Earth/Soil/Mudh/Murum to the extent of 1500 Brass (One Thousand Five Hundred Only) for the period of Three Months from the date of issue of this permit order i.e. with effect from the date 29/01/2018 to 28/04/2018 subject to the following conditions:

1. The Permit holder shall carry out excavation operation within the prescribed limit demarcated on map as ABCD shown in Red coloured ink.
2. The Permit holder shall have to complete excavation and removal operation of the permitted quantity of Earth/Soil/Mudh/Murum within the prescribed period only. Under no circumstances the said period will be extended.
3. The failure of the Permit holder to complete excavation and removal of permitted quantity of murum shall be liable to the forfeiture of the royalty already paid for the quantity not excavated and removal within the prescribed period and he shall not be entitled to claim any refund of the royalty already paid.
4. The Permit holder shall be responsible to pay the compensation to the Govt. for damage, if any made to the land and the decision of the Competent Officer shall be final in respect of determination of the damage.
5. The Govt. shall be immune against any claims of third parties of such claim of any shall be settled by the Permit holder himself.
6. The Permit holder shall report all accidents immediately to the Collector, Sub Divisional Officer, Tahsildar of the area Police Department of the area and thereafter to all the licencing authorities concerned.

7. The Permit holder shall have no rights over the extracted material and other property lying in permit area after the date of expiry of the Permit.
8. If any excess quantity over that permitted is found to be removed the material shall be confiscated and the Permit holder shall be liable for penal action under the provisions of section 48 (7) of Maharashtra Land Revenue Code, 1966.
9. The Permit holder shall allow inspection of the excavation of operation and transit passes book to the Collector, Sub Divisional Officer, or any officer authorized by him and give him reasonable opportunity for carrying out such inspection.
10. The Permit holder shall not cut any trees during the extraction of minor mineral.
11. The Permit holder shall issue transit pass giving all the details therein and duly sealed by the Collector, Sub Divisional Officer / District Mining Officer with every dispatch of mineral, failing which the transport shall be treated as unauthorized and shall be liable for penalty as per the provisions of section 48(7) and (8) of Maharashtra Land Revenue Code, 1966.
12. Permit holder should keep the day to day records of excavations, filling, transportation dispatch of minor minerals in the production, sale cum dispatch registers duly certified by this office, also submit the monthly progress report to this office on 5th day of every month.
13. In the event of the breach of any of the above condition the Permit shall be cancelled and the royalty paid by the Permit holder shall be forfeited to the State Government and the Permit holder shall be liable to such other penal action according to the provisions of the Maharashtra Land Revenue Code and Rules there under and the minor mineral Extracted shall become the absolute property of Govt.
14. That in case of increase in royalty rate hereafter the Permit holder will have to pay the difference amount of the royalty rates failing which the same will be recovered as arrears of land revenue by adopting the coercive measures.
15. Government reserves the right to cancel the excavation Permit any time without notice and without assigning any reason.
16. The letter is granted presuming that the papers submitted by the applicants POA/Occupant Owners are genuine & for any dispute arising out of documents submitted by applicant, POA/Occupant Owner will be held responsible.
17. Care should be taken due to excavation works slum dwellers are not affected.
18. Under no circumstances the excavated material like ordinary clay, ordinary earth, stones and all sizes etc. should be dumped/ spreaded over the areas of mangroves and 50 metres on all sides of mangroves regardless of ownership of the land. In case of committing breach of the conditions the permit is revoked without any notice, and the permit holder will be liable to for penal action in accordance with the concern provision of rules, acts and the Order of the Hon. High Court Dt.06-10-2005.
19. The validity of this permit is upto 28/04/2018 and this Excavation permission is use only for digging Foundation for Construction and Development Plan Sanction as per Planning Authority.
20. If the Excavation is not done as per the sanctioned plan and IOD from development Authority and also any authentic complaint raise by complaining or challenging in the court about sanction permission then the permission of excavation automatically null & void from the date issue of this excavation permission.
21. The rate of royalty are liable to be revised by time to time, and the permit holder should pay the difference of amount of royalty on account of such revision of rates by time to time.
22. This Permit is issued only for Excavation of minor mineral of purpose and all other necessary permissions from other Authority department is to be taken by applicant.

Approved by Hon. Addl. Collector



For Addl. Collector
Mumbai Suburban District

To,
Satellite Developers Pvt.Ltd.
7th Floor, S-14, Solitaire Corporate
Park, Andheri-Ghatkopar Link Road
Andheri (E), Mumbai-400093

Lab Operates at : Survey No. 93/A, Conformity Hissa No. 2, G V Brothers Bldg., Beta Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
Tel: 022-45119250, 022-45119239 / ☎ +91-7039076680 Email: lab@ultratech.in

TEST REPORT

ISSUED TO: SATELLITE DEVELOPER PVT.LTD. **ULR NO. :** ULR-TC14909 25 000001002F
REPORT NO. : UT/ELS/REPORT/ 01460 /02 -2025
ISSUE DATE : 10/02/2025
YOUR REF. : WO/STELInfra/100
REF. DATE : 19/02/2024

For Project: Slum Rehabilitation Scheme
At CTS No.16/A(Part),16/A/1 & 2 and 17 of Village Malad(East) Mumbai.

SAMPLE PARTICULARS :
Sampling Plan Ref. No. : 82-01/2025
Sampling Procedure : UT/LQMS/SOP/AA01A
Date & Time of Sampling : 24/01/2025 10:00 Hrs. to 25/01/2025 10:00 Hrs.
Sample Registration Date : 27/01/2025
Analysis Starting Date : 27/01/2025
Analysis Completion Date : 29/01/2025
Ambient Air Temperature : 22.0 °C to 31.0 °C
Relative Humidity : 45.0 % to 65.0 %
Sample Collected By : ULTRA TECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD.

AMBIENT AIR QUALITY MONITORING
Location Code : 1
Sample Location : AT PROJECT SITE
GPS Co-ordinates : N 19°11'31"60", E 72°52'00.20"
Height of Sampler : 1 Meter
Sampling Duration : 24:00 Hours-Minutes
Sample Lab Code : UT/ELS/0794/01-2025

Sr. No.	Test Parameter	Test Method	Test Result	Unit	NAAQMS Industrial, Residential, Rural and Other Area 24 Hrs.ⁱ or 1 Hr.ⁱ
1	Sulphur Dioxide (SO ₂)	IS 5182 (Part 2) : 2003	12	µg/m ³	80
2	Nitrogen Dioxide (NO ₂)	IS 5182 (Part 6) : 2006	25	µg/m ³	80
3	Particulate Matter (PM ₁₀)	IS 5182 (Part 23) : 2006	79	µg/m ³	100
4	Particulate Matter (PM _{2.5})	IS 5182 (Part 24) : 2019	26	µg/m ³	60
5	Carbon Monoxide (CO)	IS 5182 (Part 10) : 1999	1.4	mg/m ³	4

ⁱ: Sampling Period 1 Hr.

Remark/ Statement of Conformity: The parameters tested above are found to be within 24 hourly TWA of National Ambient Air Quality Monitoring Standard (NAAQMS), Part III- Section IV.

Sampling Equipment Details	Instrument Used	Lab ID	Make	Model	Sl. No.	Calibration Valid up to
	Fine Dust Sampler	UT/LAB/129	Polltech	PEM-RDS 2.5/10µ	16933	17/09/2025
	Respirable Dust Sampler	UT/LAB/131	Polltech	PEM-RDS RML-EM	714	24/12/2025

- Note:**
1. This test report refers only to the sample tested and observed values are relevant in sample collected only.
 2. This test report may not be reproduced in part, without the permission of this laboratory.
 3. Any correction invalidates this test report.
 4. Samples were collected by following laboratory's SOP (UT/LQMS/SOP/AA01A) based on CPCB Guidelines - National Ambient Air Quality Monitoring Series: NAAQMS/2003-04 and respective test methods.
 5. Weather during sampling was - SUNNY & CLEAR
 6. *Time weighted average shall be complied with 98% of the time in a year. 2% of the time, they may exceed the limits but not on two consecutive monitorings.
 7. Air Quality Index (AQI) at above sampling location - 79 which is Satisfactory as per National AQI based on concentrations obtained for reported parameters. [National Air Quality Index (INIS-AQI) is calculated using AQI Calculator available at <https://cpcb.nic.in/National-Air-Quality-Index>]



Authorized By:

(Signature)

Shailish Salvi

Authorized Signatory

- END OF TEST REPORT -

**ULTRA TECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD**

(A venture of ULTRA TECH Environmental Consultancy)

Lab. Accredited by NABL-ISO/IEC 17025:2017, TC-14909 (Valid up to 17/11/2028)
ISO 9001:2015 & ISO 45001:2018 CertifiedLab Operates at : Survey No. 93/A, Conformity Hissa No. 2, G V Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane [West] - 400 601, Maharashtra, India.
Tel: 022-45119250, 022-45119239 / ☎+91-7039076680 Email: iab@ultratech.in**TEST REPORT****ISSUED TO: SATELLITE DEVELOPER PVT.LTD.****For Your Site:** Slum Rehabilitation Scheme

At CTS No.16/A(Part) 16/A/1 & 2 and 17

of Village Malad (East) Mumbai.

ULR NO. : --**REPORT NO.** : UT/ELS/REPORT/01548/02-2025**ISSUE DATE** : 13/02/2025**YOUR REF.** : WO/STELInfra/100**REF. DATE** : 19/02/2024**SAMPLE PARTICULARS** :**WORKPLACE NOISE LEVEL MONITORING****Sampling Plan Ref. No.** : 82-01/2025**Sample Lab Code** : UT/ELS/0795/01-2025**Date of Monitoring** : 24/01/2025**Survey Done By** : ULTRATECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD.

Sr. No.	Location	Noise Level Reading in dB(A)			
		Time (Hrs)	Day dB(A)	Time (Hrs)	Night dB(A)
01.	At Project Site	10.30 to 10.35	53.8	23.00 to 23.05	42.6

Remark/ Statement of Conformity: The Noise Pollution (Regulation And Control) Rules, 2000: Is Provided as Annexure III for Your Reference.
(Turnover to find Annexure)

- Note:**
1. Measurement was done following laboratory's SOP (UT/LQMS/SOP/NO1) based on CPCB's protocol for Ambient Noise Monitoring, July 2015.
 2. This test report refers only to the monitoring conducted.
 3. This test report may not be reproduced in part, without the permission of this laboratory.
 4. Any correction invalidates this test report.

Sampling Equipment Details	Instrument Used	Make & Model	Calibration Status
	Noise Meter	Make - Lutron Model-SL4033SD Sr. No. Q659830	Valid up to - 24/10/2025

- Note:**
1. This test report refers only to the monitoring conducted.
 2. This test report may not be reproduced in part, without the permission of this laboratory.
 3. Any correction invalidates this test report.

- END OF REPORT -**Authorized By:**
Shailesh Salvi
(Authorized Signatory)

ANNEXURE-II

THE NOISE POLLUTION (REGULATION AND CONTROL) RULES, 2000

[The Principal Rules were published in the Gazette of India, vide S.O. 123(E), dated 14.2.2000 and subsequently amended vide S.O. 1046(E), dated 22.11.2000, S.O. 1088(E), dated 11.10.2002, S.O. 1569 (E), dated 19.09.2006 and S.O. 50 (E) dated 11.01.2010 under the Environment (Protection) Act, 1986.]

• SCHEDULE

[See rule 3(1) and 4(1)]

Ambient Air Quality Standards in respect of Noise

Area Code	Category of Area / Zone	Limits in dB(A) Leq	
		Day Time	Night Time
A	Industrial Area	75	70
B	Commercial Area	65	55
C	Residential Area	55	45
D	Silence Zone	50	40

- Note:
1. Day time shall mean from 6.00 a.m. to 10.00 p.m.
 2. Night time shall mean from 10.00 p.m. to 6.00 a.m.
 3. Silence zone is an area comprising not less than 100 meters around hospitals, educational institutions, courts, religious places or any other area which is declared as such by the competent authority.
 4. Mixed categories of areas may be declared as one of the four above mentioned categories by the competent authority.

* dB(A) Leq denotes the time weighted average of the level of sound in decibels on scale A which is relatable to human hearing.

A "decibel" is a unit in which noise is measured.

"A", in dB(A) Leq, denotes the frequency weighting in the measurement of noise and corresponds to frequency response characteristics of the human ear.

Leq: It is energy mean of the noise level over a specified period.

• CONSTRUCTION ACTIVITIES

The maximum noise levels near the construction site should be limited to 75 dB(A) Leq(5 min.) in industrial areas and to 65 dB(A) Leq(5 min.) in other areas.

• THE PERMISSIBLE LEVELS FOR NOISE EXPOSURE FOR WORK ZONE

[The Model Rules Of The Factories Act, 1948]

Peak sound pressure level in dB	Permitted number of impulses or impact/day
140	100
135	315
130	1000
125	3160
120	10000

- Notes:
1. No exposure in excess of 140 dB peak sound pressure level is permitted.
 2. For any peak sound pressure level falling in between any figure and the next higher or lower figure as indicated in column 1, the permitted number of impulses or impacts per day is to be determined by extrapolation on a proportionate basis.

Total time exposure (continuous or a number of short term exposures per day) in Hrs	Sound Pressure Level in dB(A)
8	90
4	93
2	96
1	99
1/2	102
1/8	108
1/16	111
1/32 (2 minutes) or less	114

- Notes:
1. No exposure in excess of 115 dB(A) is to be permitted.
 2. For any period of exposure falling in between any figure and the next higher or lower figure as indicated in column 1, the permissible sound pressure level is to be determined by extrapolation on a proportionate basis.

Lab Operates at : Survey No. 93/A, Conformity Hissa No. 2, G V Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
Tel: 022-45118250, 022-45118239 / +91-7039076680 Email: lab@ultratech.in

TEST REPORT

ISSUED TO: SATELLITE DEVELOPER PVT.LTD. **ULR NO.:** ULR-TC14909 25 000001069F
REPORT NO.: UT/ELS/REPORT/ 1549 / 02 - 2025
ISSUE DATE: 13/02/2025
YOUR REF.: WO/STEL/Infra/100
REF. DATE: 19/02/2024

For Project: Slum Rehabilitation Scheme
At CTS No.16/A(Part),16/A/1 & 2 and 17 of Village Malad(East) Mumbai.

SAMPLE PARTICULARS :
Sampling Plan Ref. No.: 02-01/2025
Sampling Procedure: UT/LQMS/SOP/W01A
Date & Time of Sampling: 24/01/2025 11:30 Hrs.
Sample Registration Date: 27/01/2025
Analysis Starting Date: 27/01/2025
Analysis Completion Date: 03/02/2025
Sample Lab Code: UT/ELS/0796/01-2025
Sample Collected By: ULTRA TECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD.

WATER SAMPLE ANALYSIS :
Sample Type: Drinking Water
Sample Location: BMC Drinking Water At Project Site
Sample Quantity & : 2L in Polyethylene Container.
Packaging Details:

Sr. No.	Test Parameter	Test Method	Test Result	Unit	Standard Limits [IS 10500 : 2012 (Acceptable Limit)]
Organoleptic and Physical Parameters					
1	pH @ 25° C	IS 3025 (Part 11) : 2022	7.3	-	6.5-8.5
2	Turbidity	IS 3025 (Part 10) : 2023	BDL(DL=0.3)	NTU	Max 1
3	Total Dissolved Solids	IS 3025 (Part 16) : 2023	100	mg/L	Max 500
4	Electrical Conductivity @ 25° C	APHA 24th Ed. 2510 B : 2023	154	µS/cm	NA
General Parameters Concerning Substances Undesirable in Excessive Amounts					
1	Ammonia as NH ₃ -N	APHA 24th Ed. 4500- NH ₃ - F : 2023	BDL(DL=0.01)	mg/L	Max 0.5
2	Calcium as Ca	IS 3025 (Part 46): Clause 5 : 2024	13	mg/L	Max 75
3	Chlorides as Cl	IS 3025 (Part 32): Clause 2 : 1980	15	mg/L	Max 250
4	Fluoride as F	APHA 24th Ed. 4500- F- B: 2023	BDL(DL=0.2)	mg/L	Max 1.0
5	Iron as Fe	IS 3025 (Part 53): Clause 7 : 2024	BDL(DL=0.06)	mg/L	Max 0.3
6	Magnesium as Mg	IS 3025 (Part 46): Clause 5 : 2023	9	mg/L	Max 30
7	Manganese as Mn	APHA 24th Ed. 3111 B : 2023	BDL(DL=0.03)	mg/L	Max 0.1
8	Nitrate as NO ₃ - N	IS 3025 (Part 34/Sec 1): Clause 6A : 2023	0.2	mg/L	Max 45
9	Sulfate as SO ₄ ²⁻	IS 3025 (Part 24/Sec 1): Clause 5 : 2022	14	mg/L	Max 200
10	Phosphorus as PO ₄ ³⁻ - P	APHA 24th Ed. 4500- P E : 2023	BDL(DL=0.01)	mg/L	NA
11	Potassium as K	APHA 24th Ed. 3500 K : 2023	0.4	mg/L	NA
12	Sodium as Na	APHA 24th Ed. 3500 Na : 2023	8.4	mg/L	NA
13	Total Alkalinity as CaCO ₃	IS 3025 (Part 23) : 2023	65	mg/L	Max 200
14	Total Hardness as CaCO ₃	IS 3025 (Part 21) : 2009	67	mg/L	Max 200

BDL: Below Detection Limit

DL: Detection Limit

NA : Not Applicable

Remark/ Statement of Conformity: The parameters tested above are found to be within standard limit/range specified in IS 10500 : 2012. For parameters Electrical Conductivity, Phosphorus, Potassium & Sodium standard limit/range is not specified hence statement of conformity can't be given.

- Note:**
1. This test report refers only to the sample tested.
 2. This test report may not be reproduced in part without the permission of this laboratory.
 3. Any correction invalidates this test report.
 4. Sample was collected using laboratory's SOP (UT/LQMS/SOP/W01A) based on CPCB's Guide Manual: Water & Wastewater Analysis, 3rd Edition and IS 3025 (Part 1).
 5. This test report shall be referred along with Test Report No. UT/ELS/REPORT/ 1550 / 02 - 2025 Dated 13/02/2025 for all conclusions.



Authorized By:

Nanjoshi

Anansi Nanjoshi
Authorized Signatory

- END OF TEST REPORT -

Lab Operates at : Survey No. 93/A, Conformity Hissa No. 2, G V Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane [West] - 400 601, Maharashtra, India.
Tel: 022-45118250, 022-45118239 / ☎ +91-7039076680 Email: lab@ultratech.in

TEST REPORT

ISSUED TO: SATELLITE DEVELOPER PVT.LTD.

ULR NO. : --
REPORT NO. : UT/ELS/REPORT/ 1550 /02 -2025
ISSUE DATE : 13/02/2025
YOUR REF. : WO/STELInfra/100
REF. DATE : 19/02/2024

For Project: Slum Rehabilitation Scheme

At CTS No.16/A(Part),16/A/1 & 2 and 17 of Village Malad(East) Mumbai.

SAMPLE PARTICULARS

Sampling Plan Ref. No.: : 02-01/2025
Sampling Procedure : UT/LQMS/SOP/W01A
Date & Time of Sampling : 24/01/2025 11:30 Hrs.
Sample Registration Date : 27/01/2025
Analysis Starting Date : 27/01/2025
Analysis Completion Date : 03/02/2025
Sample Lab Code : UT/ELS/0796/01-2025
Sample Collected By : ULTRA TECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD.

WATER SAMPLE ANALYSIS

Sample Type : Drinking Water
Sample Location : BMC Drinking Water At Project Site
Sample Quantity & : 2L in Polyethylene Container.
Packaging Details : 100 ml in Sterilized Corning Bottle for Bacteriological Parameters.

Sr. No.	Test Parameter	Test Method	Test Result	Unit	Standard Limits (IS 10500 : 2012 (Acceptable limit))
General Parameters Concerning Substances Undesirable in Excessive Amounts					
1	Phosphatase Alkalinity as CaCO ₃	IS 3025 (Part 25) : 1986	BDL(DL=1)	mg/L	NA
2	Calcium Hardness as CaCO ₃	IS 3025 (Part 21) : 2009	32	mg/L	NA
Parameters Concerning Toxic Substances					
1	Lead as Pb	IS 3025 (Part 47): Clause 6 : 2024	BDL(DL=0.6)	mg/L	Max 0.01
Bacteriological Quality of Drinking Water					
1	Total Coliform Bacteria	IS 1622:1981	BDL(DL=2)	NPN/100ml	Shall not be detectable
2	Bacteriella Coliform (E. coli)	IS 1622:1981	ABSENT	--	Shall not be detectable
3	Fecal Coliform (F. coli)	IS 1622:1981	BDL(DL=2)	NPN/100ml	Shall not be detectable

BDL: Below Detection Limit

DL: Detection Limit

NA : Not Applicable

Remark/ Statement of Conformity: The parameters tested above are found to be within standard limit/range specified in IS 10500 : 2012. For parameters Phosphatase Alkalinity & Calcium Hardness standard limit/range is not specified hence statement of conformity can't be given.

- Notes:
1. This test report refers only to the sample tested.
 2. This test report may not be reproduced in part, without the permission of this laboratory.
 3. Any correction invalidates this test report.
 4. Parameter/s tested are not covered under NABL scope.
 5. Sample was collected using laboratory's SOP (UT/LQMS/SOP/W01A) based on CPCB's Guide Manual: Water & Wastewater Analysis (NABL 24th Edition and IS 3025 (Part 1)).
 6. This test report shall be referred along with Test Report No. UT/ELS/REPORT/ 1549 / 02 - 2025 Date: 13/02/2025 for final conclusion.



Authorized By:

Manasi Namjoshi

Manasi Namjoshi
Authorized Signatory

- END OF TEST REPORT -

Lab Operates at : Survey No. 93/A, Conformity Hissa No. 2, G V Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane [West] - 400 601, Maharashtra, India.
Tel: 022-45119250, 022-45119239 / ☎ +91-7039076680 Email: lab@ultratech.in

TEST REPORT

ISSUED TO: SATELLITE DEVELOPER PVT.LTD. **ULR NO. :** ULR-TC14909 25 000001070F
REPORT NO. : UT/ELS/REPORT/ 1551 /02 - 2025
ISSUE DATE : 13/02/2025
YOUR REF. : WO/STELinfra/100
REF. DATE : 19/02/2024

For Project: Slum Rehabilitation Scheme

At CTS No.16/A(Part),16/A/1 & 2 and 17 of Village Malad(East) Mumbai.

SAMPLE PARTICULARS

Sampling Plan Ref. No.: 1 82-01/2025
Sampling Procedure: 1 UT/LQMS/SOP/S01A
Date & Time of Sampling: 24/01/2025 11:45 Hrs.
Sample Registration Date: 27/01/2025
Analysis Starting Date: 27/01/2025
Analysis Completion Date: 03/02/2025
Sample Lab Code: 1 UT/ELS/797/01-2025
Sample Collected By: 1 ULTRA TECH ENVIRONMENTAL CONSULTANCY AND LABORATORY PVT. LTD.

SOIL SAMPLE ANALYSIS

Sample Type : Soil
Sample Location : AT PROJECT SITE
Sample Quantity & Packaging Details : 1 Kg. in Ziplock Plastic Bag. (Approximately)

Sr. No.	Test Parameter	Test Method	Test Result	Unit
1	pH [1:2.5 Soil:Water] @ 25°C	IS 2720 (Part 26) : 1987	7.5	-
2	Electrical Conductivity [1:2 Soil:Water] @ 25°C	IS 14767:2000	402	µS/cm
3	Bulk Density	SOP No. UT/LQMS/SOP/S03	1091	kg/m ³
4	Moisture Content	IS 2720 (Part 02): 1973	3.0	%
5	Organic Matter	IS 2720 (Part 22): 1972	1.0	%
6	Organic Carbon	IS 2720 (Part 22): 1972	0.6	%
7	Water Holding Capacity	SOP No. UT/LQMS/SOP/S12	54.2	%
8	Cation Exchange Capacity	US EPA SW 846, Method 9080 : 1986	28.4	meq/100g
9	Sodium Adsorption Ratio	SOP No. UT/LQMS/SOP/S26	1.2	(meq/kg) ^{0.5}
10	Sodium as Na	SOP No. UT/LQMS/SOP/S19	96	mg/kg
11	Magnesium as Mg	SOP No. UT/LQMS/SOP/S22	61	mg/kg
12	Chlorides as Cl	SOP No. UT/LQMS/SOP/S23	88	mg/kg
13	Sulphate as SO ₄	SOP No. UT/LQMS/SOP/S24	114	mg/kg
14	Boron as B (Available)	SOP No. UT/LQMS/SOP/S27	0.6	mg/kg
			1.0	kg/ha
15	Phosphorous as P ₂ O ₅ (Available)	SOP No. UT/LQMS/SOP/S28	23	mg/kg
			46	kg/ha
16	Potassium as K ₂ O (Available)	SOP No. UT/LQMS/SOP/S29	146	mg/kg
			240	kg/ha
17	Nitrogen as N (Available)	SOP No. UT/LQMS/SOP/S30	116	mg/kg
			190	kg/ha
18	Iron as Fe	SOP No. UT/LQMS/SOP/S35 & S37	73512	mg/kg
19	Zinc as Zn	SOP No. UT/LQMS/SOP/S35 & S37	96	mg/kg

Remark/ Statement of Conformity: N/A

- Note:**
1. This test report refers only to the sample tested.
 2. This test report may not be reproduced in part, without the permission of this laboratory.
 3. Any correction invalidates this test report.
 4. Sample was collected using laboratory's SOP (UT/LQMS/SOP/S01A) based on Manual on Sampling, Analysis and Characterization of Hazardous Wastes, CPCB, New Delhi.
 5. Test results reported with unit/s are obtained from scientific conversions/calculations applied to test results in mg/kg.



Authorized By:

Shailesh Salvi

Authorized Signatory

- END OF TEST REPORT -

MUNICIPAL CORPORATION OF GREATER MUMBAI
(H E S DEPARTMENT)

HE/ 793 AEWV (P.&R.)N.O.C.

15 FEB 2020

Office of Ex. Eng (P & R)
'B' Ward Office, 3rd Floor,
Near J J Hospital
Babula Tank Cross Road
Mumbai-400009

EE/SRA/(WS) P/N ward

Subject. - HE's NOC for proposed rehab building under S.R. Scheme on plot bearing C.T S No 16/A/2 of village Malad (E), Malad (E), P/N Ward for Saikrupa SRA CHS/ Ltd

Reference:- 1) NO. PN/PVT/0183/20170602/AP dt 20/12/2019.

2) Scrutiny fees-R.No.1003805799, dt 07/02/2020.

Owner/ Developers: - M/s Satellite Developers Pvt. Ltd.

As per the plans and documents submitted by Licensed Plumber the proposed building under reference is a / residential cum commercial building accommodating 270 residential tenements, 1 shop Balwadi Welfare center etc. Total water requirement of the building works out to 121500 lpd for residential purpose & 40 lpd for commercial shop & 880 lpd for Balwadi, Welfare Centre etc. However demand for water connection will be recalculated by AEWV of concerned ward as per latest amended plan/a c. plan.

By direction, I have to inform you that, as far as Hydraulic Engineer's department is concerned there is no objection to the proposed building under reference subject to compliance of following conditions

1. Water supply for the said residential cum commercial building will be made available as per prevailing norms, on submission of occupation certificate.
2. The internal water distribution system within building shall be got approved from this office / from AEWV of ward after obtaining full C.C. and shall be laid & certified from competent authority before availing the permanent water connection.
3. No bore well / ring well shall be provided on the plot without specific NOC/ remarks from Assistant Engineer Water Works P/N Ward
4. Physically separate underground and overhead water storage tanks of adequate capacities for domestic and flushing purpose shall be provided. Capacity of underground water storage tank shall be obtained from AEWV P/N Ward. Underground suction tank shall be located as close as possible to the existing water main in Municipal Road and the same shall not be in 1.5 M vicinity of drainage / Sewer line / Manhole / Inspection Chamber. Top of the underground storage tank shall be maintained at about 60 cm above adjacent ground / floor level and minimum head clearance of 1.20 M shall be maintained for inspection and cleaning of tanks.
5. A clear minimum distance of 1.20 m shall be maintained between the bottom of overhead storage tank and terrace floor level
6. Adequate precaution shall be taken while designing and execution of the structural members continuously in contact, with chlorinated Municipal water in the suction tank, located in the basement / still of the building. As suction tank is located within the building line, adequate care shall be taken to avoid contamination and adequate arrangements shall be made to drain out the overflow water.
7. Automatic level control sensors & Ball Cock arrangement shall be provided in overhead & underground water storage tanks to avoid overflow from tanks.
8. Water conservation devices such as dual flushing cisterns (ISI marked) / dual flush valves for W.C.'s and sensor operated taps for wash basins & urinals, shall be installed in the building

9. This NOC is being issued for plans approved vide No. NO. PN/PVT/0183/20170602/AP dt 20/12/2019. While amendment in building plans, if water demand of the building exceeds above 10%, this NOC will be treated as cancelled and fresh NOC shall have to be obtained from this office by submitting set of amended plans and other required documents.
10. Previous HE's NOC issued u/no. HE /608/ EEWW(P&R) / NOC dated 14/8/2017 for the building under reference shall be treated as cancelled

sdwds
15/2/2020
K Executive Engineer Water Works
(Planning & Research)

**MUNICIPAL CORPORATION OF GREATER MUMBAI
(HYDRAULIC ENGINEER'S DEPARTMENT)**

HE/ 54D /EEWW (P.&R.)/N.O.C.

Office of Ex. Eng. (P & R)
'B' Ward Office, 3rd Floor,
Near J J Hospital,
Babula Tank Cross Road,
Mumbai-400009

EE(SRA) (WS) P/N ward

26 MAR 2021

Subject : HE's NOC for proposed salt building no.2 under S R Scheme on plot bearing C.T.S No.16/A/2 of village Malad, Malad (E), P/N Ward for Saikrupa SRA CHS/ Ltd

Reference: 1) PN/PVT/0183/20170602/AP/S-2 Dated 28/01/2021.

2) Scrutiny Fee Receipt No. 1004038638 Dated 25/03/2021.

Name of owner / Developer : M/s Satellite Developers Pvt. Ltd.

As per the plans and documents submitted by Licenced Plumber the proposed building under reference is a cum commercial building accommodating 716 tenements, 5 shops. Total water requirement of the building works out to 322200 lpd for residential purpose & 200 lpd for commercial purpose. However, demand for water connection will be recalculated by AEWW of concerned ward as per latest amended / OC plans.

By direction, I have to inform you that, as far as Hydraulic Engineer's department is concerned, there is no objection for water supply to the proposed building under reference subject to compliance of following conditions

1. Water supply for the said residential cum commercial building will be made available as per prevailing norms, on submission of occupation certificate.
2. The internal distribution system within building shall be got approved from this office after obtaining full C.C. and shall be laid & certified from competent authority before availing the permanent water connection.
3. No borewell / Ring Well shall be provided on the plot without specific NOC/Remarks from Assistant Engineer Water Works P/N Ward.
4. Physically separate underground and overhead water storage tanks of adequate capacities for domestic and flushing purpose shall be provided. Capacity of underground water storage tank shall be obtained from AEWW P/N Ward. Underground suction tank shall be located as close as possible to the existing water main in Municipal Road and the same shall not be in 1.5 M vicinity of drainage / Sewer line / Manhole / Inspection Chamber. Top of the underground storage tank shall be maintained at about 60 cm above adjacent ground / floor level and minimum head clearance of 1.20 M shall be maintained for inspection and cleaning of tanks and also a clear minimum distance of 6m shall be maintained between STP & U.G. tank.
5. A clear minimum distance of 1.20 m shall be maintained between the bottom of overhead storage tank and terrace floor level.
6. Adequate precaution shall be taken while designing and execution of the structural members continuously in contact, with chlorinated Municipal water in the suction tank, located in the basement / stilt of the building. As suction tank is located within the building line, adequate care shall be taken to avoid contamination and adequate arrangements shall be made to drain out the overflow water.
7. Automatic level control sensors & Ball Cock arrangement shall be provided in overhead & underground water storage tanks to avoid overflow from tanks.
8. Water conservation devices such as dual flushing cisterns (ISI marked) / dual flush valves for W.C.'s and sensor operated taps for wash basins & urinals, shall be installed in the building.
9. This NOC is being issued for plans approved vide No. PN/PVT/0183/20170602/AP/S-2 Dated 28/01/2021. While amendment in building plans, if water demand of the building exceeds above 10%, this NOC will be treated as cancelled and fresh NOC shall have to be obtained from this office by submitting set of amended plans and other required documents.
10. Previous HE's NOC issued w/no. HE / 792 / EEWW (P&R) / NOC dated 15/02/2020 for the building under reference shall be treated as cancelled.

Executive Engineer Water Works
(Planning & Research)

Owner/ Developers. - M/s Satellite Developers Pvt. Ltd.

C/O- Dinesh H. Mehata,

B/34, Rajesh Apartment, Shankar Lane,

Kandivali (W), Mumbai - 400067.

With reference to your application dated 07/02/2020. For information please.

Handwritten:
26/3/2021
EEWW(P&R) c/c

MUNICIPAL CORPORATION OF GREATER MUMBAI
(HYDRAULIC ENGINEER'S DEPARTMENT)

HE/ 298 /EEWW (P.&R.) /N.O.C.

Office of Ex. Eng. (P & R)
B' Ward Office, 3rd Floor,
Near J J Hospital,
Babula Tank Cross Road,
Mumbai-400009.

18 JAN 2022

To,
Owner / Developer: M/S. Satellite Developers Pvt. Ltd.
C/O: Prakash J Shah
7th floor, S-4, Solitaire
corporate park, Andheri-Ghatkopar
Link road, Chakala, Andheri(E),
Mumbai-400093.

Subject : HE's remarks for the proposed sale building no. 1 wing-G on plot bearing CTS No. 16/A/2
of village Malad(E), Mumbai-400097.

Reference: 1) Your letter 27/12/2021.
2) Scrutiny fee receipt No. 1004113736 dtd-30/07/2021.

Name of owner / Developer : M/S. Satellite Developers Pvt. Ltd.

As per the plans and documents submitted by Architect the proposed building under reference is a residential building accommodating 540 tenements and 11 amenities. Total water requirement of the building works out to 2,43,000 lpd for residential purpose & 440 lpd for amenities.

By direction, I have to inform you that, Hydraulic Engineer's remarks for the proposed building under reference are as under -

1. Water supply for the said residential building will be made available as per prevailing norms, on submission of occupation certificate.
2. The internal distribution system within building shall be got approved from this office after obtaining full C.C. and shall be laid & certified from competent authority before availing the permanent water connection.
3. No borewell / Ring Well shall be provided on the plot without specific NOC/Remarks from Assistant Engineer Water Works P/N Ward.
4. Physically separate underground and overhead water storage tanks of adequate capacities for domestic and flushing purpose shall be provided. Capacity of underground water storage tank shall be obtained from AEWW P/N Ward. Underground suction tank shall be located as close as possible to the existing water main in Municipal Road and the same shall not be in 1.5 M vicinity of drainage / Sewer line / Manhole / Inspection Chamber. Top of the underground storage tank shall be maintained at about 60 cm above adjacent ground / floor level and minimum head clearance of 1.20 M shall be maintained for inspection and cleaning of tanks and also a clear minimum distance of 6m shall be maintained between STP & U.G. tank.
5. A clear minimum distance of 1.20 m shall be maintained between the bottom of overhead storage tank and terrace floor level.
6. Adequate precaution shall be taken while designing and execution of the structural members continuously in contact, with chlorinated Municipal water in the suction tank, located in the basement of the building. As suction tank is located within the building line, adequate care shall be taken to avoid contamination and adequate arrangements shall be made to drain out the overflow water.
7. Automatic level control sensors & Ball Cock arrangement shall be provided in overhead & underground water storage tanks to avoid overflow from tanks.
8. Water conservation devices such as dual flushing cisterns (ISI marked) / dual flush valves for W.C.'s and sensor operated taps for wash basins & urinals, shall be installed in the building.

Above remarks are issued for plans duly attested by Architect and submitted in this office on 27/12/2021. While amendment in building plans, if demand of the building exceeds above 10%, above remarks will be treated as cancelled and fresh remarks shall have to be obtained by submitting set of amended plans with Consultant / Architect's statement.

Executive Engineer Water Works
(Planning & Research)



SLUM REHABILITATION AUTHORITY

No. PN/PVT/O183/20170602/AP

Date: 12 0 JAN 2021

To,

M/s. Satellite Developers Pvt. Ltd.
7th floor, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road, Andheri (E),
Mumbai-400 093.

Sub:- Part Occupation certificate for Rehab building of proposed slum Rehabilitation Scheme under reg. 33(10) for slum & reg.30 for non-slum of DCPR 2034 on land bearing CTS No.16/A/2 of village Malad, Malad (E), Mumbai 400 097, for Saikrupa CHS (Ltd.).

Ref: Requisition submitted by L.S. Mr. Prakash Shah u/no.811/SOP/PN dt.05/10/2020.

Sir,

With reference to the above & Certificates attached. The part development work for Rehab building under S.R. Scheme on plot bearing C.T.S No.16/A/2 of village Malad, Malad (E), Mumbai 400 097, for Saikrupa CHS (Ltd.). has been completed under the Supervision of L.S. Mr. Prakash Shah, Lic. no.563/LS, Structural Engineer, Shri. S.H. Jain Lic. No. STR/J/21 and Site Supervisor Shri. Balram S.Shendkar, Lic No.S/84000606/SSII and may be occupied under the following conditions:-

1. This occupation permission is granted for 132 Rehab Residential units, 01 commercial rehab unit, 01 Balwadi, 02 society offices, 01 Skill Development centre, 01 Welfare Centre, 01 Library in rehab building comprising of Basement + Stilt (pt) + Ground floor (pt) + 1st to 11th upper floors.
2. That the certificate under Section 270A of BMC Act shall be submitted within 30 days from issue of part O.C.
3. That you shall comply the balance LOI/IOA conditions before asking for full OC of rehab building.
4. That you shall handover amenities & society office to society of slum dwellers and Balwadi to women & child welfare center as per circular no.129 immediately after issue of part O.C.
5. That you shall handover PAP tenements within 30 days of OC as per circular no.190 after O.C. is granted to PAP tenements.

6. That you shall submit self-certified structural audit certificate from registered structural engineer having minimum experience of 5 years for rehab building at the end of defect liability period or application for release of bank guarantee.

A set of completion plans is forwarded herewith for your records & further perusal.

Note: This permission is issued without prejudice to action, if any, under M.R. & T.P. Act.

Yours faithfully,

-sd-

Executive Engineer-II
Slum Rehabilitation Authority

Copy to:

- ✓ 1. License Surveyor,
Mr. Prakash Shah
2. Asstt. Municipal Commissioner 'PN' Ward, MCGM.
3. A.E.W.W. (PN) Ward.
4. A.A. & C. (PN) Ward.
5. Estate Department (SRA)

For information please.

Raw
20.01.2021

Executive Engineer -II
Slum Rehabilitation Authority



SLUM REHABILITATION AUTHORITY

No. PN/PVT/0183/20170602/AP

Date: **27 MAR 2023**

To,
M/s. Satellite Developers Pvt. Ltd.
7th floor, S-14, Solitaire Corporate Park,
Andheri Ghatkopar Link Road, Andheri (E),
Mumbai-400 093.

Sub:- Full Occupation certificate for wing 'C' & 'D' of sale building no.2 of proposed Slum Rehabilitation Scheme under reg. 33(10) for slum & reg.30 for non-slum of DCPR 2034 on land bearing CTS No.16/A/2 of village Malad, Malad (E), Mumbai 400 097, for Saikrupa CHS (Ltd.).

Ref: Requisition submitted by L.S. Mr. Prakash Shah u/no.405/SOP/PN(E) dt.09/03/2023

Sir,

With reference to the above & Certificates attached. The development work for wing 'C' & 'D' of sale building no.2 under S.R. Scheme on plot bearing C.T.S No.16/A/2 of village Malad, Malad (E), Mumbai 400 097, for Saikrupa CHS (Ltd.). has been completed under the Supervision of L.S. Mr. Prakash Shah, Lic. no.563/LS, Structural Engineer, Shri. S.H. Jain Lic. No. STR/J/21 and Site Supervisor Shri. Balram S. Shendkar, Lic.No.S/840000606/SS-II and may be occupied under the following conditions:-

1. This occupation permission is granted for wing 'C' & 'D' of sale building no.2 comprising of Stilt (pt) + Ground floor (pt) + 1st to 18th upper floors.
2. That the certificate under Section 270A of BMC Act shall be submitted within 30 days from issue of O.C.
3. That you shall comply the balance LOI/IOA conditions before asking for full OC of Sale building No.2

A set of completion plans is forwarded herewith for your records & further perusal.

Note: This permission is issued without prejudice to action, if any, under M.R. & T.P. Act.

Yours faithfully,

Baru 27.03.2022

Executive Engineer
Slum Rehabilitation Authority



Maharashtra Pollution Control Board

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MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24044532/4024068/4023516
Website: <http://mpcb.gov.in>
Email: jdwater@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I

No:- Format1.0/JD (WPAE)/UAN No.0000103359/CO 2105000704

Date: 17/05/21

To,
M/s. Satellite Developers Pvt. Ltd, Slum
Rehabilitation Scheme at Malad (E)
C.T.S. No. 16A (pt.), 16A/1 & 2 and 17,AT
village Malad (E),
Borivali, Mumbai



Your Service Is Our Duty

Sub: 1st part Consent to Operate for construction project in Red Category

- Ref:** 1. Consent to establish granted vide No Format1.0/BO/JD(WPC)/UAN No
66999/CE/CC-1905000751 dtd 14.05.2019
2. Minutes of 14th Consent Committee meeting dtd 25.02.2021

Your application NO. MPCB-CONSENT-0000103359

For: grant of Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **Consent is granted for period upto 31.12.2021**
2. **The capital investment of the project is Rs.52.49 Cr. (As per undertaking submitted by pp).**
3. **The 1st part Consent to Operate is valid for construction project named as M/s. Satellite Developers Pvt. Ltd, Slum Rehabilitation Scheme at Malad (E),C.T.S. No. 16A (pt.), 16A/1 & 2 and 17,AT village Malad (E), Borivali, Mumbai on Total Plot Area of 9100.10 Sq Mtrs for construction BUA of 8405.94 Sq Mtrs out of total construction BUA of 23052.13 sq. mtr. as per specific condition EC granted dated 15.01.2019 including utilities and services**
4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
2.	Domestic effluent	88	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body



Maharashtra Pollution Control Board

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5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG SET-300 KVA	01	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

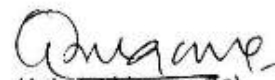
Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	DRY GARBAGE	134 Kg/Day	SEGREGATION	MCGM / SALE
2	WET GARBAGE	110 Kg/Day	OWC with Composting	As Manure
3	STP SLUDGE	10 Kg/Day	CENTRIFUGE	As Manure

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	50	Kg/Annum	Reprocessing	To Authorized Preprocessor

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- The online monitoring system installed for the parameters Flow, BOD, TSS at the outlet of STP and shall be connected to MPCB Server.
- Project Proponent shall operate the Organic waste digester with composting facility effectively for the treatment of biodegradable waste.
- Project Proponent shall comply the Construction and Demolition Waste Management Rules, 2016 which is notified by Ministry of Environment, Forest and Climate Change dtd.29/03/2016.
- The project proponent shall provide charging ports for Electric Vehicles in at least 10 % of total available parking slots.
- Project proponent shall take adequate measures to control dust emissions and noise level during construction phase.
- Project Proponent shall comply with the Environmental clearance obtained vide No SEIAA-EC-0000000608 dtd 15.01.2019 for construction project having total plot area of 9100.10 Sqm and total Construction BUA 23052.13 Sqm as per specific condition.

For and on behalf of the
Maharashtra Pollution Control Board.


(Ashok Shingare IAS),
Member Secretary

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	100000.00	TXN2012000279	03/12/2020	Online Payment

Copy to:

- Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai IV
- They are directed to ensure the compliance of the consent conditions.
- Chief Accounts Officer, MPCB, Sion, Mumbai



Maharashtra Pollution Control Board

60a23b19b5720e3f6c2ccc20

SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have installed Sewage Treatment Plant (STP) with the design capacity of 200 CMD based on MBBR Technology.
- B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH ₄ N	5
6	N-total	10
7	Fecal Coliform	less than 100 MPN/100ml

- C) The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	101.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



Maharashtra Pollution Control Board

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SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have provided the Air pollution control (APC) system and erected following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1	DG SET-300 KVA	Acoustic Enclosure	3.5	DIESEL/HSD	81 Ltr/Hr

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
-------------------------	---------------	------------------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**

- a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
- b) The toilet shall be provided with exhaust system connected to chimney through ducting.
- c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
- d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	C2O	10 Lakhs	15 Days	Operation and maintenance of Pollution Control Systems and compliance of consent conditions	Continuous	30.04.2022

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

Existing BG obtained for above purpose if any may be extended for period of validity as above.



Maharashtra Pollution Control Board

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BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				

SCHEDULE-IV

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.

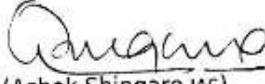


Maharashtra Pollution Control Board

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- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

For and on behalf of the
Maharashtra Pollution Control Board.


(Ashok Shingare IAS),
Member Secretary

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I

No:- Format1.0/CC/UAN No.0000181739/CO/2401002264

Date: 22/01/2024

To,
M/s Satellite Developers Pvt. Ltd.
'Arambh' (Wing C & D) Residential project,
C.T.S. No. 16A/2 of Village Malad (E),
Mumbai.



Your Service is Our Duty

Sub: Consent to 1st Operate (Part-II) for Proposed Slum Rehabilitation Scheme Construction Project.

- Ref:
1. Application Submitted by SRO-Mumbai-IV
 2. Minutes of 25th CC meeting dtd-05.01.2024.

Your application NO. MPCB-CONSENT-0000181739

For: grant of Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **Consent to 1st Operate (Part Operate) is valid upto-31.12.2024.**
2. **The capital investment of the project is Rs.95.44 Cr. (As per C.A Certificate submitted by industry).**
3. **The Consent to Operate is valid for Proposed Slum Rehabilitation Scheme Construction Project named as M/s Satellite Developers Pvt. Ltd. 'Arambh' (Wing C & D) Residential project, C.T.S. No. 16A/2 of Village Malad (E), Mumbai on Total Plot Area of 9100.10 Sq.Mtrs for construction BUA of 10,705.16 Sq.Mtrs out of Total Construction BUA of 23052.13 Sq.Mtrs as per EC granted dated-15.01.2019 including utilities and services.**

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	Consent to Establish dtd 14.05.2019	9100.10	41691.80
2	Consent to Operate (Part-I) issued on 17.05.2021	9100.10	8405.00
3	Environment Clearance. dtd-15.01.2019	9100.10	23052.13
4	Environment Clearance dtd.18.08.2022	9761.08	64719.50

4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA

Sr No	Description	Permitted	Standards to	Disposal
2.	Domestic effluent	112	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set- 400 KVA	1	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Dry Waste	258 Kg/Day	Segregation	segregation and handover to authorized vendor
2	Wet Waste	172 Kg/Day	OWC	Used as manure
3	STP Sludge	10 Kg/Day	drying	Used as manure

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for Collection, Segregation, Storage, Transportation, Treatment and Disposal of hazardous waste:**

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	50	Ltr/A	Collection	sent to authorized reprocessor

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
10. PP shall submit the undertaking in Board's prescribed format within 15 days regarding compliance of conditions stipulated in Environmental Clearance (EC) and Consent to Operate (Part-I).
11. PP shall submit the BG of Rs. 10 lakhs towards O&M of STP, OWC and compliance of conditions stipulated in EC and Consent to Operate.
12. PP shall provide adequate capacity of sewage treatment plant so as to achieve treated domestic effluent standard for the parameter BOD- 10 mg/lit.
13. The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening.
14. Project Proponent shall operate the Organic waste digester with composting facility or biodigester with composting facility effectively

15. The Project Proponent shall comply with the Environmental Clearance obtained dtd-18.08.2022 for construction project having total plot area of 9761.08 Sq.Mtrs and total construction BUA of 64719.50 Sq.Mtrs as per specific condition of EC.
16. PP shall obtain consent to establish as per E.C. dtd-18.08.2022.
17. PP shall submit an affidavit in Boards prescribed format within 15 days regarding compliance of C to E & Environmental Clearance/CRZ Clearance.



Disnazg

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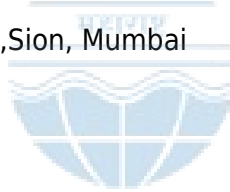
Signed by: **Dr. Avinash Dhakne**
Member Secretary
For and on behalf of
Maharashtra Pollution Control Board
ms@mpcb.gov.in
2024-01-22 16:12:40 IST

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	125000.00	TXN2309002547	15/09/2023	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai IV
 - They are directed to ensure the compliance of the consent conditions.
 - They are directed to obtained B.G. of Rs.10.0 Lakhs towards compliance of consent condition & E.C. Compliance.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have provided MBBR Technology based Sewage Treatment Plants (STPs) of combined capacity **500 CMD for treatment of domestic effluent of 112 CMD.**
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	129.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) **As per your application, you have provided the Air pollution control (APC) system and erected following stack (s) and to observe the following fuel pattern-**

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
S-1	DG Set-400 KVA	Acoustic Enclosure	5.00	HSD 85 Kg/Hr	1	SO ₂	40.8 Kg/Day

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
-------------------------	---------------	------------------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
 - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
 - c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
 - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Operate	10 Lakhs	within 15 days	Towards compliance of consent condition	30.11.2024	31.03.2025

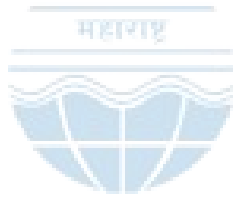
** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				



SCHEDULE-IV

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.

- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

This certificate is digitally & electronically signed.



MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 24010437/24020781
/24037124/24035273
Fax : 24044532/24024058
/24023516
Email : jdwater@mpcb.gov.in
Visit At : <http://mpcb.gov.in>



Kalpataru Point, 3rd & 4th floor,
Sion- Matunga Scheme Road No. 8,
Opp. Cine Planet Cinema,
Near Sion Circle, Sion (E),
Mumbai - 400022

Infrastructure /Orange/LSI

Consent No: Format L0/BO/JD(WPC)/UAN No. 66999/CE/CC-1905000751 Date-14/05/2019

To,
M/s. Satellite Developers Pvt Ltd.,
Slum Rehabilitation Scheme at Malad(E),
CTS No. 16(A),16A/1&2 and 17 of Village Malad(E),
Tal. Borivali, Dist. Mumbai.

Subject: Consent to Establish for Slum Rehabilitation Project in Orange Category.

Ref : 1. Minutes of Consent Committee meeting held on 03/05/2019.

2. Your application UAN No.00000066999 Dated: 13/02/2019.

For: Consent to Establish for Slum Rehabilitation Project in Orange Category.

under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 5 of the Hazardous and Other Wastes (M & TM) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. The consent is granted for a period up to commissioning of the project or of 5 years whichever is earlier.
2. The proposed capital investment of the project is Rs. 248.95 Crs. (As per C.A. certificate submitted by project proponent)

The Consent to Establish is valid for construction of Slum Rehabilitation Project named as M/s. Satellite Developers Pvt Ltd., Slum Rehabilitation Scheme at Malad(E), CTS No. 16(A),16A/1&2 and 17 of Village Malad(E), Tal. Borivali, Dist. Mumbai. For Total plot area of 9,100.10 Sq. Mtrs and Total construction BUA 41,691.80 Sq. Mtr (including utilities and services as per construction commencement certificate issued by local body.

3. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. No.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1	Trade effluent	NIL	NA	NA
2	Domestic effluent	429.0	As per Schedule -I	60% should be reused & recycled and remaining should be discharged in municipal sewer

4. Conditions under Air (P&CP) Act, 1981 for air emissions:

Sr. No.	Description of stack/ source	Capacity	Number Of Stack	Standards to be achieved
1	DG Set 04 Nos	125 KVA, 300 KVA & 500 KVA x 2 Nos	04	As per Schedule-II



5. Conditions under Solid Waste Management Rules, 2016:

Sr. no.	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Wet garbage	671 Kg/Day	OWC	Used as Manure
2	Dry garbage	1009 Kg/Day	—	Segregate and Hand over to Local Body for recycling
3	STP Sludge	66 Kg/Day	—	Used as Manure

6. Conditions under Hazardous and Other Wastes (M & TM) Rules, 2016 for treatment and disposal of hazardous waste: NIL.
7. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same should be binding on the industry.
8. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
9. Project Proponent shall comply the Construction and Demolition Waste Management Rules, 2016 which is notified by Ministry of Environment, Forest and Climate Change dtd.29/03/2016.
10. Project Proponent shall submit an affidavit in Board's prescribed format within 15 days regarding the compliance of conditions of EC/CRZ clearance and C to E.
11. Project Proponent shall install online monitoring systems for BOD, TSS and flow at the outlet of STP.
12. Project Proponent shall provide Organic waste digester with composting facility or Biogas digester with composting facility.
13. The applicant should comply with the conditions stipulated in Environmental clearance obtained from SEIAA-EC-0000000608 GoM dtd. 15/01/2019 for Total Plot area 9,100.10 Sqm, Total construction BUA: 41,691.80 Sqm.

For and on behalf of the
Maharashtra Pollution Control Board



(Signature)
14/5/19

(P.K.Mirashe)
Member Secretary

Received Consent fee of -

Sr. No.	Amount (Rs.)	DD. No.	Date	Transaction Type
1	4,97,900	PIDC7269411669	28/02/2019	Online

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai-IV. – They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Mumbai.
3. CC/CAC desk- for record & website updating purposes.

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to install of 3 Nos of Sewage Treatment Plants (STP) with the design capacity of 730 CMD & 150 CMD based on MBBR Technology.
- B) The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l except for PH
1	BOD (3 days 27°C)	10
2	Suspended Solids	50
3	COD	100
4	Residual Chlorine	1 ppm

C) The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, firefighting, on land for gardening etc and remaining shall be discharged in to the municipal sewerage system.

D) Project proponent shall operate STP for five years from the date of obtaining occupation certificate.

The Board reserves its rights to review plans, Specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant should obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto

- 2) The industry should ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 3) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, by installing water meters and other provisions as contained in the said act.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
1	Domestic purpose	506.0

- 4) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



Schedule-II

Terms & conditions for compliance of Air Pollution Control:

1. As per your application, you have proposed to install the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type Of Fuel	Quantity	UOM	S%	SO ₂ Kg/day
1	D G Set (125 KVA)	Acoustic enclosure	5*	HSD	35	Lit/Hr	1	16.80
2	D G Set (300 KVA)	Acoustic enclosure	5*	HSD	80	Lit/Hr	1	38.40
3	2 Nos D G Set (500KVA)	Acoustic enclosure	7*	HSD	135	Lit/Hr	1	64.80

* Above roof of the building in which it is installed.

2. The applicant should operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³ .
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3. The Applicant should obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.

*The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

[Signature]



Schedule-III
Details of Bank Guarantees

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish	Rs. 10 Lakhs	15 Days	Towards Compliance of Environmental Clearance & Consent conditions.	Up to Commissioning of the project	COU or Five years



Schedule-IV

General Conditions:

The following general conditions shall apply as per the type of the industry.

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and environmental protection Act 1986 and Solid Waste Management Rules, 2016 and E-Waste (Management) Rules, 2016.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned between 6 a.m. to 10 p.m and night time is reckoned between 10 p.m to 6 a.m.
 - d) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - e) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - f) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - g) D.G. Set shall be operated only in case of power failure.
 - h) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - i) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste – The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rules, 2016 & E-Waste (M) Rules, 2016.
- 7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web-site of the MPCB.
- 8) The treated sewage shall be disinfected using suitable disinfection method.
- 9) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 10) **The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.**





Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

Application for Consent/ Authorisation

Sir,
I/We hereby apply for*

- Consent to Establish/Operate/Renewal of consent under section 25 and 26 of the Water (Prevention & Control of Pollution) Act, 1974 as amended.
- Consent to Establish/Operate/Renewal of consent under Section 21 of the Air (Prevention and Control of Pollution) Act, 1981, as amended.
- Authorization/renewal of authorization under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 in connection with my/our/existing/proposed/altered/ additional manufacturing/processing activity from the premises as per the details given below.

Consent Information

UAN No:
MPCB-CONSENT-0000183982

Application submitted on:
12-10-2023

Industry Information

Consent To:
Establish (Expansion)

IIN No.:

Submit to:
SRO - Mumbai IV

Type of institution:
Other Planning Authority

Industry Type:
O21 Building and construction
project more than 20,000 sq. m
built up area

Category:
Orange

Scale:
L.S.I

**Location of
industry/activity/etc:**
Local Body

Name of Local Body:
Municipal Corporation Greater
Mumbai (MCGM)

EC Req.
Yes

EC Obtained
EC Obtained

EC Ref. No.
EC22B038MH129042

Date of issue of EC
Aug 18, 2022

Parivesh Proposal Number
SIA/MH/MIS/242517/2021

MoEFCC/SEIAA File Number
SIA/MH/MIS/242517/2021

**Whether construction-buildup area is more than 20,000
sq.mtr.(Existing Expansion Unit)**

No

General Information

1. Name, designation, office address with Telephone/Fax numbers, e-mail of the Applicant Occupier/Industry/Institution / Local Body.

Name
Mr. Alpesh Gandhi

Address
Building No. 14, 7th floor, Solitaire Corporate park, Chakala, Andheri
(E), Mumbai 400 063.

Designation
Manager

Taluka
Mumbai

Area	District
Andheri	Mumbai city
Telephone	Fax
9820544284	02266781199
Email	Pan Number
alpesh.gandhi@group-satellite.com	AAECE9872B

2. (a) Name and location of the industrial unit/premises for which the application is made (Give revenue Survey Number/Plot number name of Taluka and District, also telephone and fax number)

Industry name

M/s Satellite Developers Pvt. Ltd. 'Arambh' Residential project.

Location of Unit

C.T.S. No. 16A/2 of Village Malad (E), Mumbai, State-Maharashtra.

Survey number/Plot Number

C.T.S. No. 16A/2

Taluka

Borivali

District

Mumbai city

(b) Details of the planning permission obtained from the local body/Town and Country Planning authority/Metropolitan Development authority/ designated Authority.

Planning permission

Slum Rehabilitation Authority (SRA)

Planning Authority

Slum Rehabilitation Authority (SRA)

Name of the local body under whose jurisdiction the unit is located and Name of the licence issuing authority

Name of Local Body

Municipal Corporation Greater Mumbai (MCGM)

Name of the licence issuing authority

Slum Rehabilitation Authority (SRA)

3. Names,addresses with Telephone and Fax Number of Managing Director / Managing Partner and officer responsible for matters connected with pollution control and/or Hazardous waste disposal.

Name of Managing Director

Mr. Ankur Jain (CEO)

Telephone number

9820544284

Fax number

--

Officer responsible for day to day business

Mr. Alpesh Gandhi

4. (a.) Are you registered Industrial unit ?

No

Registration number

U70100MH2018PTC306952

Date of registration

Jan 2, 2016

5. Gross capital investment of the unit without depreciation till the date of application (Cost of building, land, plant and machinery). (To be supported by an affidavit/undertaking on Rs.20/- stamp paper, annual report or certificate from a Chartered Accountant for proposed unit(s), give estimated figure)

Gross capital (in Lakh)	* Verified	* Terms	* Consent Fee
29399.00	CA Certificate	1	587980.00

6. If the site is located near sea-shore/river bank/other water bodies/Highway, Indicate the crow fly distance and the name of the water body, if any.

Distance From	Distance(Km)	* Name
SH/NH	0.00	--NA--
River	0.00	--NA--
Human Habitation	0.00	--NA--
Religious Place	0.00	--NA--
Historical Place	0.00	--NA--
Creek/Sea	0.00	--NA--

6b. Enter Latitude and Longitude details of site

Latitude

19.113011

Longitude

72.520101

7. Does the location satisfy the Requirements Under relevant Central/State Govt. Notification such as Coastal Regulation Zone. Notification on Ecologically Fragile Area, Industrial Location policy, etc. If so, give details.

Location	Approved Industry Area	Sensitive Area	If Yes, Name Of Area	Industry Location with Reference to CRZ
-----------------	-------------------------------	-----------------------	-----------------------------	--

NA	No	No	NA	
----	----	----	----	--

8. If the site is situated in notified industrial estate,

		Details
(a) Whether effluent collection, treatment and disposal system has been provided by the authority.	No	NA
(b) Will the applicant utilize the system, if provided.	No	NA
(c) If not provided, details of proposed arrangement.	NA	

9.

(a) Total plot area (in square meter)	(b) Built up area and (in square meter)	(c) Area available for the use of treated sewage/ trade effluent for gardening/irrigation. (in square meter)
9,761.08	45,608.40 out of 64,719.50 (Completed CTO taken 8,405.94 & applied CTO for 10,705.16)	1484.28

10. Month and year of commissioning of the Unit.

2028-10-12

11. Number of workers and office staff

Workers	staff	Hrs. of shift	Weekly off
150	10	8	Sunday

12.

(a) Do you have a residential colony Within the premises in respect of Which the present application is Made ?	No	NA	
(b) If yes, please state population staying			
Number of person staying	Water consumption	Sewage generation	Whether is STP provided?
	0	0	No
(c) Indicate its location and distance with reference to plant site.			
Number of person staying	Water consumption		
NA	0		

13. List of products and by-products Manufactured in tonnes/month, Kl/month or numbers/month with their types i.e.Dyes, drugs etc. (Give figures corresponding to maximum installed production capacity)

Products Name and Quantity

Product Name	UOM	Product Name	Existing	Consented	Proposed Revision	Total	Remarks
OTHERS	--NA--	NA	0	0	0	0	Residential project, applied for CTE expansion

Products Name and Quantity

Product Name	UOM	Quantity	Remarks
NA	--NA--	0	Residential project, applied for CTE expansion

14. List of raw materials and process chemicals with annual consumption corresponding to above stated production figures, in tonnes/month or kl/month or numbers/month.

Name of Raw Material	UOM	Quantity	Hazardous Waste	Hazardous Chemicals	Remarks
NA	--NA--	0	No	No	Residential project, applied for CTE expansion

15. Description of process of manufacture for each of the products showing input, output, quality and quantity of solid, liquid and gaseous wastes, if any from each unit process.

NA

Part B : Waste Water aspects

16. Water consumption for different uses (m3/day)

Purpose	Consumption	Effluent Generation	Treatment	Remarks	Disposal	Remarks
Domestic Pourpose	485	426	STP	Treated in STP of capacity 700 KLD	Recycle	Recycled water used for flushing & Gardening
Water gets Polluted & Pollutants are Biodegradable	0	0	--NA--	NA	--NA--	NA
Water gets Polluted,Pollutants are not Biodegradable & Toxic	0	0	--NA--	NA	--NA--	NA
Industrial Cooling,spraying in mine pits or boiler feed	0	0	--NA--	NA	--NA--	NA
Others	0					

17. Source of water supply, Name of authority granting permission if applicable and quantity permitted.

Source of water supply	Name of Local Body	Name of authority granting permission	Qauntity permitted
Local Body	Municipal Corporation Greater Mumbai (MCGM)	Municipal Corporation Greater Mumbai (MCGM)	315

18. Quantity of waste water (effluent) generated (m3/day)

Domastic	Boiler Blowdown	Industrial	Cooling water blowdown
426	0	0	0

Process	DM Plants/Softening	Washing	Tail race discharge from
0	0	0	0

* 19. Water budget calculations accounting for difference between water consumption and effluent generated.

Enclosed water balance

20. Present treatment of sewage/canteen effluent (Give sizes/capacities of treatment units).

Capacity of STP (m3/day)

700

Treatment unit	Size (mxm)	Retention time (hr)
Rotating Media Bioreactor (RMBR)	645	8

21. Present treatment of trade effluent (Give sizes/capacities of treatment units) (A schematic diagram of the treatment scheme with inlet/outlet characteristics of each unit operation/process is to be provided. Include details of residue Management system (ETP sludges)

Capacity of ETP (m3/day)

0

Treatment unit	Size (mxm)	Retention time (hr)
NA	0	0

22.

(i) Are sewage and trade effluents mixed together? No

If yes, state at which stage-Whether before, intermittently or after treatment. 0

23. Capacity of treated effluent sump, Guard Pond if any.

Capacity of treated effluent sump (m3) 0

Effluent sump/Guard pond details No NA

If yes, state at which stage-Whether before, intermittently or after treatment. No NA

24. Mode of disposal of treated effluent With respective quantity, m3/day

(i) into stream/river (name of river)	NA	(ii) into creek/estuary (name of Creek/estuary)	NA
(iii) into sea	NA	(iv) into drain/sewer (owner of sewer)	209
(v) On land for irrigation on owned land/ase land. Specify cropped area.	4	(vi) Connected to CETP	NA
(vii) Quantity of treated effluent reused/ recycled, m3/day Provide a location map of disposal arrangement indicating the outler(s) for sampling. Treated effluent reused / recycled (m3/day)	384		

25. (a) Quality of untreated/treated effluents (Specify pH and concentration of SS, BOD,COD and specific pollutants relevant to the industry. TDS to be reported for disposal on land or into stream/river.

Untreated Effluent

pH 5.5-9.5

SS (mg/l)	100-250
BOD (mg/l)	250-650
COD (mg/l)	200-800
TDS (mg/l)	250-850

Specific pollutant if any	Name	Value
1	NA	0

Treated Effluent

pH	6.5-7.5
SS (mg/l)	20
BOD (mg/l)	<10
COD (mg/l)	<50
TDS (mg/l)	100

Specific pollutant if any	Name	Value
1	NA	0

(b) Enclose a copy of the latest report of analysis from the laboratory approved by State Board/ Committee/Central Board/Central Government in the Ministry of Environment expected characteristics of the untreated/treated effluent

NA

26. Fuel consumption

Fuel Type	UOM	Fuel Consumption TPD/LKD	Calorific value
Diesel	Kg/Hr	125	46500
Ash content	Sulphur content	Quantity	Other (specify)
0.2	1	1	NA

27. (a) Details of stack (process & fuel stacks: D. G.)

(a) Stack number(s)	(b) Stack attached to	(c) Capacity	(d) Fuel Type
S1	DG Set	NA	Diesel
(e) Fuel quanti y (Kg/hr.)	(f) Material of construction	(g) Shape (round/rectangular)	(h) Height, m (above ground level)
125	MS	Round	4.5
(i) Diameter/Size, in meters	(j) Gas quantity, Nm3/hr.	(k) Gas temperature °C	(l) Exit gas velocity, m/sec.
0.24	150	0	0
(m) Control equipment preceding the stack	(n) Nature of pollutants likely to present in stack gases such as Cl2, Nox, Sox TPM etc.	(o) Emissions control system provided	(p) In case of D.G. Set power generation capacity in KVA
Round	Sox TPM	NA	600 X 1 NO

27. (B) Whether any release of odoriferous compounds such as Mercaptans, Phorate etc. Are coming out from any storages or process house.

NA

28. Do you have adequate facility for collection of samples of emissions in the form of port holes, platform, ladder\etc. As per Central Board Publication “Emission regulations Part-III” (December, 1985)

Poart hole	No	Details	NA
Platform	No	Details	NA

29. Quality of treated flue gas emissions and process emissions. Quantity of treated flue gas emissions and process emissions.

Sr. No	Stack attached to	Parameter	Concentration mg/Nm3	flow (Nm3/hr)
1	NA	NA	0	0

(Specify concentration of criteria pollutants and industry/process-specific pollutants stack-wise. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/ Central Government in the Ministry of Environment & Forests. For proposed unit furnish expected characteristics of the emissions..

NA

Part - D: Hazardous Waste aspect

30. Information about Hazardous Waste Management as defined in Hazardous Waste (Management & Handling) Rules, 1989 as amended in Jan.,2000. Type/Category of Waste as per

Waste (Annually) Schedule I

Cat No	Type	Qty	UOM
5.1	5.1 Used or spent oil	50	Ltr/A
Max	Method of collection	Method of reception	Method of storage
	Through DG set	Manual	Stored separately in Plastic Drum/Bag
Method of transport	Method of treatment	Method of disposal	
By authorized vehicle	Recycle	Handover to authorized recycler	

Waste (Annually) Schedule II

31. Details about use of hazardous waste

Name of hazardous waste/Spent chemical	Quantity used/month	Party from whom purchased	Party to whom sold
NA	0	NA	NA

32.

a. Details about technical capability and equipments available with the applicant to handle the Hazardous Waste

NA

b. Characteristics of hazardous waste(s) Specify concentration of relevant pollutants. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/Central Govt. in the ministry of Environment & Forests. For proposed units furnish expected characteristics

NA

33.

Copy of format of manifest/record Keeping practiced by the applicant.

NA

34.

Details of self-monitoring (source and environment system)

NA

35.

Are you using any imported hazardous waste. If yes, give details.

NA

36.

Copy of actual user Registration/certificate obtained from State Pollution Control Board/Ministry of Environment & Forests, Government of India, for use of hazardous waste.

NA

37.

Present treatment of hazardous waste, if any (give type and capacity of treatment units)

NA

38. Quantity of hazardous waste disposal

(i) Within factory

0

(ii) Outside the factory (specify location and enclose copies of agreement.)

0

(iii) Through sale (enclosed documentary proof and copies of agreement.)

0

(iv) Outside state/Union Territory, if yes particulars of (1 & 3) above.

0

(v) Other (Specify)

0

Part - E: Additional information

39.

a. Do you have any proposals to upgrade the present system for treatment and disposal of effluent/emissions and/or hazardous waste.

NA

b. If yes, give the details with time- schedule for the implementation and approximate expenditure to be incurred on it.

NA

40.

Capital and recurring (O & M) expenditure on various aspect of environment protection such as effluent, emission, hazardous waste, solid waste, tree- plantation, monitoring, data acquisition etc. (give figures separately for items implemented/to be implemented).

Enclosed EMP Plan

41.

To which of the pollution control equipment, separate meters for recording consumption of electric energy are installed ?

STP

42.

Which of the pollution control items are connected to D.G. Set (captive power source) to ensure their running in the event of normal power failure

NA

43. Nature, quantity and method of disposal of non- hazardous solid waste generated separately from the process of manufacture and waste treatment. (Give details of area/capacity available in applicant's land)

Type	Quantity	UOM	Treatment	Disposal	Other Details
Dry Waste	1051	Kg/Day	Segregation	Handover to authorized recycler/MCGM	NA
Wet Waste	680	Kg/Day	Organic Waste Convertor (OWC)	Used as manure	NA
STP Sludge	74	Kg/Day	De-watering	Used as manure	NA

44. Hazardous Chemicals - Give details of Chemicals and quantities handled and Stored.

(i) Is the unit a Major Accident Hazard unit as per Mfg.Storage Import Hazardous Chemicals Rules ?

NA

(ii) Is the unit an isolated storage as defined under the MSIHC Rules ?

NA

(iii) Indicate status of compliance of Rules 5,7,10,11,12,13 and 18 of the MSIHC Rules.

NA

(iv) Has approval of site been obtained from the concerned authority?

NA

(v) Has the unit prepared an off-site Emergency Plan? Is it updated ?

NA

(vi) Has information on imports of Chemicals been provided to the concerned authority?

NA

(vii) Does the unit possess a policy under the PLI Act?

NA

45. Brief details of tree plantation/green belt development within applicant's premises (in hectares)

Open Space Availability	Plantation Done On	Number of Trees Planted
1484.28 Square meter	0 Square meter(0.0 %)	0

46.

Information of schemes for waste Minimization, resource recovery and recycling - implemented and to be implemented, separately.

NA

47.

(a) The applicant shall indicate whether Industry comes under Public Hearing, if so, the relevant documents such as EIA, EMP, Risk Analysis etc. shall be submitted, if so, the relevant documents enclosed shall be indicated accordingly.

NA

(b) Any other additional information that the applicants desires to give

NA

(c) Whether Environmental Statement submitted ? If submitted, give date of submission.

Yes

48.

I/We further declare that the information furnished above is correct to the best of my/our knowledge.

49.

I/We hereby submit that in case of any change from what is stated in this application in respect of raw materials, products, process of manufacture and treatment and/or disposal of effluent, emission, hazardous wastes etc. In quality and quantity; a fresh application for Consent/Authorization shall be made and until the grant of fresh Consent/Authorization no change shall be made.

50.

I/We undertake to furnish any other information within one month of its being called by the Board

Yours faithfully

Signature :
Name : Mr. Alpesh Gandhi
Designation : Manager

Additional Information

Air Pollution

Sr No.	Air Pollution Source	Pollutants	APCS Provided	Remark
1	NA	NA	NA	NA
Separate EM Provided		No	Other Emission Sources	NA
Measures Proposed		NA	Foul Smell Coming Out	No
Air Sampling Facility Details		NA		

D.G. Set Details

Description	Capacity(KVA)	Remarks
1 NO	600	DG Set will be used in case of power failure

Hazardous Waste Generation

Hazardous Waste	Quantity	UOM	Treatment	Disposal	Other Details
5.1 Used or spent oil	50	Ltr/A	Re-processing	Handed over to authorize recycler	NA

CHWTSDF Details

Member of CHWTSDF	CHWTSDF Name	Remarks
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Cess Details

Cess Applicable	Cess Paid	If Yes, UpTo
No	No	Jan 1 1900 12:00:00:000AM

Legal Actions

Legal Action Taken	Legal Record Of Company	Legal Action Details	Remarks
No			

Bank Guarantee Applicable:

No

Annexure



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: January 15, 2019

To,
M/s. Satellite Developers Pvt. Ltd.
at C.T.S. No. 16A (pt.), 16A/1 & 2 and 17 of village Malad (E), Mumbai.

Subject: Environment Clearance for Slum Rehabilitation Scheme at Malad (E)

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 67th (Day - 2)th meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 150th meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category Category 8(a) B2 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below :-

1.Name of Project	Slum Rehabilitation Scheme at Malad (E)
2.Type of institution	Private
3.Name of Project Proponent	M/s. Satellite Developers Pvt. Ltd.
4.Name of Consultant	M/s. Ultra-Tech
5.Type of project	SRA scheme
6.New project/expansion in existing project/modernization/diversification in existing project	New project
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	NA
8.Location of the project	C.T.S. No. 16A (pt.), 16A/1 & 2 and 17 of village Malad (E), Mumbai.
9.Taluka	Borivali
10.Village	Malad
Correspondence Name:	Mr. Ankur Jain (CEO)
Room Number:	S-14
Floor:	7th Floor
Building Name:	Solitaire Corporate Park
Road/Street Name:	Andheri - Ghatkopar Link Road
Locality:	Andheri (E)
City:	Mumbai
11.Area of the project	Municipal Corporation of Greater Mumbai (M.C.G.M.)
12.IOD/IOA/Concession/Plan Approval Number	Received IOA from SRA IOD/IOA/Concession/Plan Approval Number: IOA No. PN/PVT/0183/20170602/AP Approved Built-up Area: 13116.86
13.Note on the initiated work (If applicable)	700 sq.mt.
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	Received LOI from SRA
15.Total Plot Area (sq. m.)	9100.10 Sq. mt.
16.Deductions	NA
17.Net Plot area	9100.10 Sq. mt.

SEIAA Meeting No: 150 Meeting Date: January 11, 2019 (SEIAA-STATEMENT-0000001177)
SEIAA-MINUTES-0000000885
SEIAA-EC-0000000608

Page 1 of 13


Shri. Anil Diggikar (Member Secretary SEIAA)

18 (a).Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): 24927.58 Sq. mt. (Including Fungible Area)
	Non FSI area (sq. m.): 16764.22 Sq. mt.
	Total BUA area (sq. m.): 41691.80
18 (b).Approved Built up area as per DCR	Approved FSI area (sq. m.): 24927.58
	Approved Non FSI area (sq. m.): 16764.22
	Date of Approval: 27-07-2017
19.Total ground coverage (m2)	3221.57 Sq. mt.
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	40%
21.Estimated cost of the project	2489500000



Government of Maharashtra

22.Production Details				
Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable
23.Total Water Requirement				
Dry season:	Source of water	MCGM		
	Fresh water (CMD):	337		
	Recycled water - Flushing (CMD):	169		
	Recycled water - Gardening (CMD):	7		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	513		
	Fire fighting - Underground water tank(CMD):	Rehab-200 KL, Sale-600 KL		
	Fire fighting - Overhead water tank(CMD):	Rehab-20KL, Sale-240 KL		
	Excess treated water	219		
Wet season:	Source of water	MCGM/RWH		
	Fresh water (CMD):	337		
	Recycled water - Flushing (CMD):	169		
	Recycled water - Gardening (CMD):	NA		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	506		
	Fire fighting - Underground water tank(CMD):	Rehab-200 KL, Sale-600 KL		
	Fire fighting - Overhead water tank(CMD):	Rehab-20KL, Sale-240 KL		
	Excess treated water	226		
Details of Swimming pool (If any)	NA			

24.Details of Total water consumed									
Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
Water Requirement	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
25.Rain Water Harvesting (RWH)	Level of the Ground water table:		8.8 mt. below ground level						
	Size and no of RWH tank(s) and Quantity:		3 RWH tanks of total capacity 214 KL						
	Location of the RWH tank(s):		Underground						
	Quantity of recharge pits:		NA						
	Size of recharge pits :		NA						
	Budgetary allocation (Capital cost) :		Rs. 30.40 Lacs						
	Budgetary allocation (O & M cost) :		Rs. 1.24 Lacs/annum						
	Details of UGT tanks if any :		Location(s) of the UGT tank(s): Underground						
26.Storm water drainage	Natural water drainage pattern:		The storm water collected through the storm water drains of adequate capacity will be discharged in to the external drain.						
	Quantity of storm water:		0.38 m3/sec						
	Size of SWD:		600 mm wide with slope 1: 300						
27.Sewage and Waste water	Sewage generation in KLD:		439						
	STP technology:		MBR (Membrane Bio Reactor)						
	Capacity of STP (CMD):		3 STPs of total capacity 730 KL						
	Location & area of the STP:		Underground						
	Budgetary allocation (Capital cost):		Rs. 216.18 Lacs						
	Budgetary allocation (O & M cost):		Rs. 29.37 Lacs/annum						

28.Solid waste Management

Waste generation in the Pre Construction and Construction phase:	Waste generation:	Excavation material shall be partly reused on site for backfilling and leveling and remaining shall be disposed to authorized landfill site.
	Disposal of the construction waste debris:	Construction waste material shall be partly recycled and remaining shall be disposed to the authorized land fill site
Waste generation in the operation Phase:	Dry waste:	1009 Kg/day
	Wet waste:	671 Kg/day
	Hazardous waste:	NA
	Biomedical waste (If applicable):	NA
	STP Sludge (Dry sludge):	66 Kg/day
	Others if any:	NA
Mode of Disposal of waste:	Dry waste:	To Authorized recyclers
	Wet waste:	Treatment in Organic Waste Converters (OWC)
	Hazardous waste:	NA
	Biomedical waste (If applicable):	NA
	STP Sludge (Dry sludge):	As manure
	Others if any:	NA
Area requirement:	Location(s):	Ground
	Area for the storage of waste & other material:	50 sq.mt.
	Area for machinery:	48 sq.mt.
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 36.00 Lacs
	O & M cost:	Rs. 6.49 Lacs/annum

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29.Effluent Charecterestics					
Serial Number	Parameters	Unit	Inlet Effluent Charecterestics	Outlet Effluent Charecterestics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



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30.Hazardous Waste Details							
Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

31.Stacks emission Details						
Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

32.Details of Fuel to be used				
Serial Number	Type of Fuel	Existing	Proposed	Total
1	Not applicable	Not applicable	Not applicable	Not applicable
Source of Fuel		Not applicable		
Mode of Transportation of fuel to site		Not applicable		

33.Energy		
Power requirement:	Source of power supply :	Reliance Energy
	During Construction Phase: (Demand Load)	100 KW
	DG set as Power back-up during construction phase	As per requirement
	During Operation phase (Connected load):	11582 KW
	During Operation phase (Demand load):	3989 KW
	Transformer:	--
	DG set as Power back-up during operation phase:	1 D.G. Set of capacity 300 kVA, 2 D.G. Sets of capacity 500 kVA each and 1 DG set of capacity 125 kVA
	Fuel used:	Diesel
	Details of high tension line passing through the plot if any:	NA

34.Energy saving by non-conventional method:
- Solar based street lighting, landscape lighting, corridor staircase lighting, parking, services and common area lighting. - Provision of solar water heating system - Provision of CFL and LED lamps - Provision of electronic ballast - Saving due to timer and sensors - Use of hydropneumatic pumping system with VFD @ 30% minimum - Use of capacitors for common area load

36.Detail calculations & % of saving:		
Serial Number	Energy Conservation Measures	Saving %
1	Overall energy saving	Sale building: 18% Rehab building: 19%
2	Energy saving due to solar	Sale building : 7% Rehab building: 10%

37.Details of pollution control Systems		
Source	Existing pollution control system	Proposed to be installed

Not applicable	Not applicable		Not applicable	
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 242.25 Lacs (Solar system)		
	O & M cost:	Rs. 7.27 Lacs/annum (Solar system)		
38.Environmental Management plan Budgetary Allocation				
a) Construction phase (with Break-up):				
Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)	
1	Air Environment	Dust suppression	7.20	
2	Air Environment	Air and Noise quality - Sensors for Air and Noise quality monitoring	12.50	
3	Air Environment	Air and Noise quality - By outside MoEF Approved Laboratory	1.10	
4	Water Environment	Drinking water analysis	0.15	
5	Land Environment	Site Sanitation	5.00	
6	Health & Hygiene	Disinfection- Pest Control	6.00	
7	Health & Hygiene	Health Check Up	13.50	
8	Cost towards Disaster management	--	352.82	
b) Operation Phase (with Break-up):				
Serial Number	Component	Description	Capital cost Rs. In Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	Air Environment	Gardening	5.50	1.20
2	Air Environment	Ambient Air quality & Noise Monitoring - On site sensors	Already considered in Construction Phase	0.50
3	Air Environment	Ambient Air quality & Noise Monitoring - By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.22
4	Air Environment	DG Stack Exhaust Monitoring	No set up cost is involved	0.14
5	Water Environment - Waste water treatment	Cost for sewage Treatment Plant	162.18	26.29
6	Water Environment - Waste water treatment	Cost for Waste water Monitoring - On site sensors	54.00	3.00
7	Water Environment - Waste water treatment	Cost for Waste water Monitoring - By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.08
8	Water Environment - Water Conservation (Rain Water Harvesting System)	Cost for RWH tanks	21.40	1.07
9	Water Environment - Water Conservation (Rain Water Harvesting System)	Cost for treatment unit for Rain Water	9.00	0.03
10	Water Environment - Water Conservation (Rain Water Harvesting System)	Cost for Rainwater Monitoring	No set up cost is involved	0.14
11	Land Environment (Solid Waste Management)	Cost for Treatment of biodegradable garbage in OWC	36.00	6.17

12	Land Environment (Solid Waste Management)	Environmental Monitoring	No set up cost is involved	0.32
13	Energy Conservation	Solar system	242.25	7.27
14	Cost towards Disaster management	--	586.25	11.72

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

40.Any Other Information

No Information Available

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	CRZ/ RRZ clearance obtain, if any:	NA
	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	NA
	Category as per schedule of EIA Notification sheet	Category 8(a) B2
	Court cases pending if any	NA
	Other Relevant Informations	NA
	Have you previously submitted Application online on MOEF Website.	Yes
	Date of online submission	09-04-2018

3. The proposal has been considered by SEIAA in its 150th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

I	PP to upload Architecture certificate for design base considering carbon foot print.
II	PP to submit tree NOC.
III	PP to submit details regarding CER.
IV	SEIAA decided to grant EC for : FSI area: 13114.06 m2, Non FSI area: 9938.07 m2 & Total BUA:23052.13 m2. (IOD no. PN/PVT/0183/20170602/AP)

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC & SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.

XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in building construction.
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.

XXI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.
XXII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
XXIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XXIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XXV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XXVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XXVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XXVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XXIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in .
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

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4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D- Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

1. SHRI JOHNY JOSEPH, CHAIRMAN-SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
3. SHRI M.M.ADTANI, CHAIRMAN-SEAC-II
4. SHRI ANIL .D. KALE, CHAIRMAN SEAC-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC NAGPUR
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCB NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANDHERI
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: March 26, 2020

To,
M/s. Satellite Developers Pvt. Ltd. Mr. Ankur Jain (CEO)
at C.T.S. No. 16/A/2 of village Malad (E), Mumbai.

Subject: Environment Clearance for Seeking revised EC for Slum Rehabilitation Scheme at Malad

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 128th meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 195th meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category 8 (a) B2 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below :-

1.Name of Project	Slum Rehabilitation Scheme at Malad
2.Type of institution	Private
3.Name of Project Proponent	M/s. Satellite Developers Pvt. Ltd. Mr. Ankur Jain (CEO)
4.Name of Consultant	M/s. ULTRA TECH
5.Type of project	SRA scheme
6.New project/expansion in existing project/modernization/diversification in existing project	Amendment and expansion in EC
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	Received Environmental Clearance from SEIAA, Maharashtra vide file no. SEIAA-EC-0000000608 dated 15.01.2019.
8.Location of the project	C.T.S. No. 16/A/2 of village Malad (E), Mumbai.
9.Taluka	Malad
10.Village	Malad
Correspondence Name:	M/s. Satellite Developers Pvt. Ltd.
Room Number:	S-14
Floor:	7th floor
Building Name:	Solitaire Corporate Park
Road/Street Name:	Andheri - Ghatkopar Link Road
Locality:	Andheri (E)
City:	Mumbai- 400 093
11.Whether in Corporation / Municipal / other area	Corporation - Municipal Corporation of Greater Mumbai (M.C.G.M.)/, Planning Authority - Slum Rehabilitation Authority (SRA)
12.IOD/IOA/Concession/Plan Approval Number	Received IOA No. PN/PVT/0183/20170602/AP from SRA dt. 01.08.2018 IOD/IOA/Concession/Plan Approval Number: IOA No. PN/PVT/0183/20170602/AP dated 01.08.2018 Approved Built-up Area: 13114.06
13.Note on the initiated work (If applicable)	Total constructed work (FSI+ Non FSI) on site till date: 17924.72 Sq.mt.
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	Received revised LOI from SRA dt. 28.11.2019
15.Total Plot Area (sq. m.)	9761.08 Sq.mt.
16.Deductions	380.01 Sq. mt.
17.Net Plot area	9381.07 Sq.mt.

SEIAA Meeting No: 195 Meeting Date: March 14, 2020 (SEIAA-STATEMENT-0000003715)
SEIAA-MINUTES-0000003169
SEIAA-EC-0000002250

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Shri. Anil Diggikar (Member Secretary SEIAA)

18 (a).Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): 39157.85 Sq. mt. (Including Fungible area)
	Non FSI area (sq. m.): 24432.51 Sq.mt.
	Total BUA area (sq. m.): 63590.36
18 (b).Approved Built up area as per DCR	Approved FSI area (sq. m.): 13114.06 Sq. mt. (Including Fungible area)
	Approved Non FSI area (sq. m.): 9938.07 Sq.mt.
	Date of Approval: 01-08-2018
19.Total ground coverage (m2)	3122.16 sq.mt.
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	33%
21.Estimated cost of the project	3670500000



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22.Production Details				
Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable
23.Total Water Requirement				
Dry season:	Source of water	M.C.G.M		
	Fresh water (CMD):	456 KLD		
	Recycled water - Flushing (CMD):	229 KLD		
	Recycled water - Gardening (CMD):	10 KLD		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	695 KLD		
	Fire fighting - Underground water tank(CMD):	800 KL		
	Fire fighting - Overhead water tank(CMD):	230 KL		
	Excess treated water	294 KLD		
Wet season:	Source of water	M.C.G.M/ Partly by RWH		
	Fresh water (CMD):	456 KLD		
	Recycled water - Flushing (CMD):	229 KLD		
	Recycled water - Gardening (CMD):	NA		
	Swimming pool make up (Cum):	NA		
	Total Water Requirement (CMD) :	685 KLD		
	Fire fighting - Underground water tank(CMD):	800 KL		
	Fire fighting - Overhead water tank(CMD):	230 KL		
	Excess treated water	304 KLD		
Details of Swimming pool (If any)	Not applicable			

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Maharashtra

24.Details of Total water consumed

Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
Water Requirement	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

25.Rain Water Harvesting (RWH)	Level of the Ground water table:	8.8 mt. below ground level
	Size and no of RWH tank(s) and Quantity:	Rehabilitation Bldg: 1 RWH tank of capacity 50 KL, Sale Building 1: 1 RWH tank of capacity 34 KL, Sale Building 2: 1 RWH tank of capacity 100 KL
	Location of the RWH tank(s):	Underground
	Quantity of recharge pits:	NA
	Size of recharge pits :	NA
	Budgetary allocation (Capital cost) :	Rs. 27.40 Lacs
	Budgetary allocation (O & M cost) :	Rs. 1.09 Lacs/annum
	Details of UGT tanks if any :	Location of UG tanks: Underground

26.Storm water drainage	Natural water drainage pattern:	The storm water collected through the storm water drains of adequate capacity will be discharged in to the external drain.
	Quantity of storm water:	0.19 m3/sec
	Size of SWD:	600 mm wide with slope 1: 300

27.Sewage and Waste water	Sewage generation in KLD:	593 KLD
	STP technology:	Rehab Building : Moving Bed Bio Reactor (MBBR), Sale Building : Rotating Media Bio Disk Reactor (RMBR)
	Capacity of STP (CMD):	Rehabilitation bldg: 1 STP tank of capacity 200 KL, Sale Building 1: 1 STP tank of capacity 200 KL, Sale Building 2 & Clubhouse: 1 STP tank of capacity 500 KL
	Location & area of the STP:	Rehabilitation building : Ground level , Sale Building 1: Underground, Sale Building 2: Ground level
	Budgetary allocation (Capital cost):	Rs. 224.00 lacs
	Budgetary allocation (O & M cost):	Rs. 31.08 lacs/annum

28.Solid waste Management

Waste generation in the Pre Construction and Construction phase:	Waste generation:	Excavation material shall be partly reused on site for backfilling and leveling and remaining shall be disposed to authorized landfill site.
	Disposal of the construction waste debris:	Construction waste (Brick, blocks, ceramic tiles, marbles etc.) partly shall be used for waterproofing work, paving & landscaping areas and remaining shall be disposed to authorized landfill site.
Waste generation in the operation Phase:	Dry waste:	1366 kg/day
	Wet waste:	911 kg/day
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	89 kg/day
	Others if any:	Not Applicable
Mode of Disposal of waste:	Dry waste:	To Authorized recyclers
	Wet waste:	Treatment in Organic Waste Converter
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	Use as manure
	Others if any:	Not Applicable
Area requirement:	Location(s):	Ground floor
	Area for the storage of waste & other material:	67 sq. mt.
	Area for machinery:	36.00 sq. mt.
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 27.00 Lacs
	O & M cost:	Rs. 5.35 Lacs/annum

Government of
Maharashtra

29.Effluent Charecterestics					
Serial Number	Parameters	Unit	Inlet Effluent Charecterestics	Outlet Effluent Charecterestics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



Government of Maharashtra

30.Hazardous Waste Details							
Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

31.Stacks emission Details						
Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases
1	DG Set	--	--	--	--	--

32.Details of Fuel to be used				
Serial Number	Type of Fuel	Existing	Proposed	Total
1	HSD	--	--	--
Source of Fuel		--		
Mode of Transportation of fuel to site		--		

33.Energy		
Power requirement:	Source of power supply :	Reliance Energy
	During Construction Phase: (Demand Load)	150 KW
	DG set as Power back-up during construction phase	As per requirement
	During Operation phase (Connected load):	17462 KW
	During Operation phase (Demand load):	5927 KW
	Transformer:	--
	DG set as Power back-up during operation phase:	2 DG sets of 300 kVA each and 1 DG set of 600 kVA
	Fuel used:	Diesel
	Details of high tension line passing through the plot if any:	No

34.Energy saving by non-conventional method:	
Energy Saving Measures: • Solar based street lighting, landscape lighting, corridor staircase lighting, parking, services and common area lighting. • Provision of solar water heating system • Provision of LED lamps • Provision of electronic ballast • Saving due to timer and sensors • Use of hydropneumatic pumping system with VFD @ 30% minimum • Use of capacitors for common area load	

36.Detail calculations & % of saving:		
Serial Number	Energy Conservation Measures	Saving %
1	Overall Energy Saving	Rehabilitation Building: 16 %, Sale Building 1: 17 %, Sale Building 2: 18.5
2	Energy saving due to renewable energy	Rehabilitation Building: 8%, Sale Building 1: 6%, Sale Building 2: 6.5%

37.Details of pollution control Systems		
Source	Existing pollution control system	Proposed to be installed

Sewage	NA		Sewage Treatment Plant(STP)	
Biodegradable solid waste	NA		Organic Waste Converter	
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 135.00 Lacs		
	O & M cost:	Rs. 4.05 Lacs/annum		
38.Environmental Management plan Budgetary Allocation				
a) Construction phase (with Break-up):				
Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)	
1	Air Environment	Cost for Dust Suppression	1.44	
2	Air Environment	Air and Noise Monitoring: On site Sensors	0.50	
3	Air Environment	Air and Noise Monitoring: By outside MoEF & CC Approved Laboratory	0.22	
4	Water Environment	Drinking water analysis	0.03	
5	Land Environment	Site Sanitation	1.00	
6	Health & Hygiene	Disinfection- Pest Control	1.20	
7	Health & Hygiene	Health Check-up of workers	2.70	
b) Operation Phase (with Break-up):				
Serial Number	Component	Description	Capital cost Rs. In Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	AIR & NOISE ENVIRONMEN -Cost for Ambient Air quality & Noise Monitoring:	On site sensors	No set up cost is involved as already considered Construction Phase	0.50
2	AIR & NOISE ENVIRONMEN -Cost for Ambient Air quality & Noise Monitoring:	By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.22
3	AIR & NOISE ENVIRONMENT - Cost for DG Stack Exhaust Monitoring	3 nos. of stacks	No set up cost is involved	0.14
4	AIR & NOISE ENVIRONMENT - Cost for Plantation	RG area on ground	8.17	1.20
5	WATER ENVIRONMENT - Cost for Waste water treatment	Cost for sewage Treatment Plants	170.00	28.00
6	WATER ENVIRONMENT - Cost for water & waste water Monitoring	On site sensors	54.00	3.00
7	WATER ENVIRONMENT - Cost for water & waste water Monitoring	By outside MoEF & CC Approved Laboratory	No set up cost is involved	0.08
8	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for RWH tanks	18.40	0.92

9	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for treatment unit for Rain Water collected in tanks	9.00	0.03
10	WATER ENVIRONMENT - Cost for Water Conservation (Rain Water Harvesting System)	Cost for Rainwater Monitoring	No set up cost is involved	0.14
11	LAND ENVIRONMENT - Cost for Solid Waste Management	Cost for Treatment of biodegradable garbage in OWC	27.00	5.35
12	LAND ENVIRONMENT - Cost for Solid Waste Management	Cost for Manure Monitoring	No set up cost is involved	0.32
13	ENERGY CONSERVATION - Use of renewable energy	Solar system	135.00	4.05

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

40.Any Other Information

No Information Available

Government of
Maharashtra

	CRZ/ RRZ clearance obtain, if any:	Not Applicable
	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not Applicable
	Category as per schedule of EIA Notification sheet	8 (a) B2
	Court cases pending if any	Not Applicable
	Other Relevant Informations	--
	Have you previously submitted Application online on MOEF Website.	No
	Date of online submission	-

3. The proposal has been considered by SEIAA in its 195th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

I	Local planning authority to ensure the structural stability of building for which vertical expansion is proposed.
II	PP to abide the all conditions laid in the CFO NoC.
III	The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.
IV	PP to submit CER prescribed by MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project. The specific activities to be undertaken under CER to be carried out in consultation with Municipal Corporation or collector or Environment Department.
V	PP to ensure that CER plan gets approved from Municipal Commissioner.
VI	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
VII	SEIAA decided to grant EC for - FSI:21846.82 m2, Non-FSI: 13743.05 m2 and Total BUA:35589.87 m2 (Plan Approval no-PN/PVT/0183/20170602/AP/S-2, dated-24.01.2020, PN/PVT/0183/20170602/AP, date 20.12.2019)
VIII	PP to ensure that CER plan gets approved from Municipal Commissioner.
IX	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
X	SEIAA decided to grant EC for - FSI:21846.82 m2, Non-FSI: 13743.05 m2 and Total BUA:35589.87 m2 (Plan Approval no-PN/PVT/0183/20170602/AP/S-2, dated-24.01.2020, PN/PVT/0183/20170602/AP, date 20.12.2019)

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC& SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.

VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in building construction.
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.

XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.
XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise break-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in .
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D- Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

1. SHRI JOHNY JOSEPH, CHAIRMAN-SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
3. SHRI M.M.ADTANI, CHAIRMAN-SEAC-II
4. SHRI ANIL .D. KALE, CHAIRMAN SEAC-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC NAGPUR
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCB NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANDHERI
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN



Government of India
Ministry of Environment, Forest and Climate Change
(Issued by the State Environment Impact Assessment
Authority(SEIAA), Maharashtra)

To,

The Proponent

MS SATELLITE DEVELOPERS LTD

Building No. 14, 7th floor, solitaire corporate park, chakala, Andheri (E),
Mumbai 400 063 -400063

Subject: Grant of Environmental Clearance (EC) to the proposed Project Activity
under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC)
in respect of project submitted to the SEIAA vide proposal number
SIA/MH/MIS/242517/2021 dated 03 Dec 2021. The particulars of the environmental
clearance granted to the project are as below.

1. EC Identification No.	EC22B038MH129042
2. File No.	SIA/MH/MIS/242517/2021
3. Project Type	Expansion
4. Category	B2
5. Project/Activity including Schedule No.	8(a) Building and Construction projects
6. Name of Project	Slum Rehabilitation Scheme at Malad (E), Mumbai
7. Name of Company/Organization	MS SATELLITE DEVELOPERS LTD
8. Location of Project	Maharashtra
9. TOR Date	N/A

The project details along with terms and conditions are appended herewith from page
no 2 onwards.

Date: 18/08/2022

(e-signed)
Manisha Patankar Mhaikar
Member Secretary
SEIAA - (Maharashtra)

*Note: A valid environmental clearance shall be one that has EC identification
number & E-Sign generated from PARIVESH. Please quote identification
number in all future correspondence.*

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STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/MIS/242517/2021
Environment & Climate
Change Department
Room No. 217, 2nd Floor,
Mantralaya, Mumbai- 400032.

To
M/s. Satellite Developers Pvt. Ltd.,
C.T.S. No. 16/A/2, Malad (E),
Mumbai.

Subject : Environmental Clearance for expansion in earlier EC for Slum rehabilitation Scheme at plot bearing C.T.S. No. 16/A/2, Malad (E), Mumbai by M/s. Satellite Developers Pvt. Ltd.

Reference : Application no. SIA/MH/MIS/242517/2021

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 178th meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 247th (Day-2) meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. **Brief Information of the project submitted by you is as below:-**

Sr. No.	Description	Details	
1	Proposal Number	SIA/MH/MIS/242517/2021	
2	Name of Project	Slum Rehabilitation Scheme at C.T.S. No. 16/A/2, Malad (E), Mumbai	
3	Project category	8 (a)	
4	Type of Institution	Private	
5	Project Proponent	Name	Mr. Ankur Jain – CEO (For M/s. Satellite Developers Pvt. Ltd.)
		Regd. Office address	7 th Floor, S-14, Solitaire Corporate Park, Andheri – Ghatkoper Link Road, Andheri (E), Mumbai.
		Contact number	022 6129 6900
		e-mail	ankur.jain@groupsatellite.com
6	Consultant	ULTRA TECH Certificate No: NABEI/EIA/2023/RA 0194 Validity: 9th March 2023	
7	Applied for	Expansion	

8	Location of the project			C.T.S. No. 16/A/2, Village: Malad, Taluka. Borivali, District: Mumbai Suburban, State: Maharashtra, India.			
9	Latitude and Longitude			Latitude: 19°11'29.46"N Longitude: 72°52'1.40"E			
10	Plot Area (sq.m.)			9,761.08 sq.mt			
11	Deductions (sq.m.)			380.01 sq.mt			
12	Net Plot area (sq.m.)			9,381.07 sq.mt			
13	Ground coverage (m²) & %			3,220.21 sq.mt (34%)			
14	FSI Area (sq.m.)			39,171.45 sq.mt. (Including Fungible Area)			
15	Non-FSI (sq.m.)			25,548.05 sq.mt			
16	Proposed built-up area (FSI + Non FSI) (sq.m.)			64,719.50 sq.mt			
17	TBUA (m²) approved by Planning Authority till date			64,491.40 Sq. mt Approved as per Intimation of Approval (IOA) dt. 20.12.2019, 16.12.2021 and 28.04.2022 received from Municipal Corporation of Greater Mumbai (MCGM).			
18	Earlier EC details with Total Construction area, if any.			Received 1 st EC dated 15.01.2019 and 2 nd Amendment and Expansion in EC dated 26.03.2020 from SEIAA, Maharashtra. During appraisal process of earlier EC SEAC-2 in its 128 th meeting dated 12.07.2020 had appraised the project for total Construction Built-up Area of 63,590.36 Sq.mt. however, EC was restricted for 35,589.87 Sq.mt. as per IOA received from SRA.			
19	Construction completed as per earlier EC (FSI + Non FSI) (sq.m.)			Total constructed area on site till date: 33,444.66 Sq.mt			
20	Previous EC / Existing Building			Proposed Configuration			Reason for Modification / Change
	Building Name	Configuration	Height (m)	Building Name	Configuration	Height (m)	
	Rehabilitation Building	Stilt + 22 floors	68.15	Rehabilitation Building	Stilt + 22 floors	68.15	No change
	Sale Building I : Wing G & H	Basement – Stilt + 1 st to 17 th floors – 18 th (Pl.) floor	69.15	Sale Building I : Wing G	Basement (Underground services) – Stilt + 21 floors	80.20	Change in planning of Sale Building I (Wing G).
	Sale	Stilt	69.15	Sale	Stilt/ Ground	69.15	No change

	Building 2: (Wing A & B)	Ground + 18 floors each		Building 2: (Wing A & B)	- 18 floors each										
	Sale Building 2: Wing C	Stilt/ Ground + 18 floors	69.15	Sale Building 2: Wing C	Stilt/ Ground + 18 floors	69.15	No change								
	Sale Building 2: Wing D, E & F	Stilt/ Ground - 18 floors each	69.15	Sale Building 2: Wing D, E & F	Stilt/ Ground + 18 floors each	69.15	No change								
	Club house:	Ground + 1 st floor	8.10	Club house	Ground + 1 st floor	8.10	No change								
	--	--	--	Parking Tower	15 level parking	36.80	Parking tower with 30 nos. of parking spaces proposed now								
21	No. of Tenements & Shops			<table><tr><th>Building Configuration</th><th>Details</th></tr><tr><td>Rehabilitation Building</td><td>Rehab. Flats: 214 Nos. Sale Flats: 56 Nos. Shop: 1 No. Balwadi: 1 No. Welfare Centre: 1 No. Skill Development: 1 No. Library: 1 No. Society Office: 2 Nos. Temple: 1 No.</td></tr><tr><td>Sale Building 1 (Wing C)</td><td>Flats: 1063 Nos. Shops</td></tr><tr><td>Sale Building 2 (Wing A, B, C, D, E & F)</td><td></td></tr></table>		Building Configuration	Details	Rehabilitation Building	Rehab. Flats: 214 Nos. Sale Flats: 56 Nos. Shop: 1 No. Balwadi: 1 No. Welfare Centre: 1 No. Skill Development: 1 No. Library: 1 No. Society Office: 2 Nos. Temple: 1 No.	Sale Building 1 (Wing C)	Flats: 1063 Nos. Shops	Sale Building 2 (Wing A, B, C, D, E & F)			
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Sale Building 1 (Wing C)	Flats: 1063 Nos. Shops														
Sale Building 2 (Wing A, B, C, D, E & F)															
22	Total Population			5387 nos.											
23	Total Water Requirements CMD			730 CMD											
24	Under Ground Tank (UGT) location			Underground											
25	Source of water			M.C.C.M.											
26	STP Capacity & Technology			Rehabilitation building: Provision of 1 STP of capacity 225 KL Technology: Moving Bed Bio Reactor (MBBR)											

		Sale building 1 and 2: Provision of 2 STPs of total capacity 700 KL Technology: Rotating Media Bioreactor (RMBR)		
27	STP Location	Underground		
28	Sewage Generation CMD & % of sewage discharge in sewer line	626 CMD Sewage discharge in sewer line: 35 %		
29	Solid Waste Management during Construction Phase	type	Quantity (Kg/d)	Treatment / disposal
		Dry waste	9	To authorized recyclers
		Wet waste	6	
		Construction waste	18674	Partly reuse on site and partly disposal to authorized landfill site as per permission received from MCGM.
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed	Type	Quantity (Kg/d)	Treatment / disposal
		Dry waste	1443	To authorized recyclers
		Wet waste	962	Treatment in OWC
		E-Waste	--	--
		STP Sludge (dry)	94	Use as manure
31	R.G. Area in sq.m.	RG required - 1484.28		
		RG provided on Mother earth- 1070.42 sq.mt		
		Balance RG provided on ground - 413.86 sq.mt		
		Total - 1484.28 sq.mt		
		Existing trees on plot: 25 nos.		
		Number of trees to be planted:		
		a) In RG area: 189 nos.		
		b) In Miyawaki Plantation (with area): Not proposed		
		Number of trees to be cut: Trees already cut - 4 nos.		
		Number of trees to be transplanted: Trees already transplanted - 6 nos.		

		Affected trees - 13 nos.				
32	Power requirement	During Operation Phase: <table><tr><td>Connected load (kW)</td><td>15437 kW</td></tr><tr><td>Demand load (kW)</td><td>5793 kW</td></tr></table>	Connected load (kW)	15437 kW	Demand load (kW)	5793 kW
Connected load (kW)	15437 kW					
Demand load (kW)	5793 kW					
33	Energy Efficiency	a) Total Energy saving (%): 25.26% b) Solar energy (%): 5.40%				
34	D.G. set capacity	1 DG set of 300 kVA 1 DG set of 500 kVA 1 DG set of 600 kVA				
35	No. of 4-W & 2-W Parking with 25% EV	4-Wheeler: 191 Nos. 2-Wheeler: 58 Nos. Provision of 25% of 4-wheeler and 2-wheeler of E-charging points.				
36	No. & capacity of Rain water harvesting tanks /Pits	Provision of 3 Rain water harvesting tanks of total capacity 185 Kl.				
37	Project Cost in (Cr.)	414.82 Cr.				
38	EMP Cost	Construction Phase: Rs. 79.13 Lacs Operation Phase: Capital cost: Rs. 382.44 Lacs Operational and Maintenance cost: Rs. 65.92 Lacs/annum				
39	CER Details with justification if any....as per MoEF & CC circular dated 01/05/2018	—				
40	Details of Court Cases/litigations w.r.t the project and project location, if any.	No litigation is pending against the project or land				

The comparative statement showing project details approved as per earlier EC vis-à-vis proposed amendment/expansion is as below:

Description	Appraised by SEAC-2 in 128 th meeting dt. 12.02.2020	Seeking Expansion in EC	Remarks w. r. t. appraisal in SEAC-2 meeting dt. 12.02.2020 & EC received dt. 26.03.2020
Total Plot Area (Sq.mt.)	9,761.08	9,761.08	No change in plot area
Deductions (Sq.mt.) (5% Amenity open space)	380.01	380.01	No change
Net plot area	9,381.07	9,381.07	No change

(Sq.mt.)			
Required Recreational Ground (RG) Area (Sq.mt.)	1,484	1,484	No change
Provision of Recreational Ground (RG) Area (Sq.mt.)	1,484	1,484	No change
Permissible Built-up Area (Including Fungible area) (Sq.mt.)	39,171.75	39,171.75	No change
Proposed Built-up Area as per FSI (Sq.mt.)	30,720.75	30,730.83	- Proposed increase by 10.08 sq.mt. due to change in planning of Wing G - In EC dt. 26.03.2020 FSI area was restricted to 21,846.82 sq.mt. as per received Sale IOA dt. 24.01.2020 and Rehab IOA dt. 20.12.2019
Proposed Fungible Area (Sq.mt.)	8,437.1	8,440.62	Proposed increase by 3.52 sq.mt. as per provisions of DCPR 2034
Built-up Area as per FSI including Fungible area (Sq.mt.)	39,157.85	39,171.45	Proposed increase by 13.60 sq. mt.
Built-up Area as per Non-FSI area (Sq.mt.)	24,432.51	25,548.05	- Proposed increase by 1,115.54 sq. mt. - In EC dt. 26.03.2020 NON FSI area was restricted to 13,743.05 sq.mt as per received Sale IOA dt. 24.01.2020 and Rehab IOA dt. 20.12.2019
Total Construction Built-up Area (Sq.mt.)	63,590.36	64,719.50	- Proposed increase by 1,129.14 sq. mt. - In EC dt. 26.03.2020 area was restricted to 35589.87 Sq. mt. as per received Sale IOA dt. 24.01.2020 and Rehab IOA dt. 20.12.2019

Parking requirement (Nos.)	4-Wheeler = 186 2-Wheeler = Nil	4-Wheeler = 196 2-Wheeler = Nil	4-Wheeler: Proposed increase by 10 nos. in line with requirement of DCPR of Mumbai
Parking spaces provision (Nos.)	4-Wheeler = 199 2-Wheeler = 38	4-Wheeler = 197 2-Wheeler = 58	4-Wheeler: Proposed decrease by 2 nos. 2-Wheeler: Proposed increase by 11 nos.
Rehabilitation Building: Stilt + 22 floors Rehab. Flats: 214 Nos. Sale Flats: 56 Nos. Shop: 1 No. Balwadi: 1 No. Welfare Centre: 1 No. Skill Development: 1 No. Library: 1 No. Society Office: 2 Nos. Temple: 1 No.	Rehabilitation Building: Stilt + 22 floors Rehab. Flats: 214 Nos. Sale Flats: 56 Nos. Shop: 1 No. Balwadi: 1 No. Welfare Centre: 1 No. Skill Development: 1 No. Library: 1 No. Society Office: 2 Nos. Temple: 1 No.		- No change - Construction completed up to 20th floor (RCC Work).
Sale Building 1: Wing G & H Basement + Stilt + 1 st to 17 th floors + 18 th (Pl.) floor Flats: 275 Nos.	Sale Building 1: Wing G Basement (Underground services) – Stilt + 21 floors Flats: 347 Nos.		- Change in building design - Now Wing G & H merged and renamed as Wing G only - Basement now proposed only for services & pit parking. - Floors: Proposed increase by 3 floors - Flats: Proposed increase by 72 nos of flats - Construction not started
Sale Building 2: (Wing A & B) Stilt/ Ground + 18 floors each Flats: 262 Nos. Shops: 6 Nos.	Sale Building 2: (Wing A & B) Stilt/ Ground + 18 floors each Flats: 262 Nos. Shops: 5 Nos.		- Change in building design - Shops: Proposed decrease by 1 no. - Only excavation and levelling work done
Sale Building 2: Wing C	Sale Building 2: Wing C Stilt/ Ground + 18 floors		No change

Stilt/ Ground + 18 floors Flats: 122 Nos. Shops: 4 Nos.	Flats: 122 Nos. Shops: 4 Nos.		• Construction completed up to 18 th floor (RCC work).
Sale Building 2: Wing D, E & F Stilt/ Ground + 18 floors each Flats: 332 nos.	Sale Building 2: Wing D, E & F Stilt/ Ground + 18 floors each Flats: 332 nos.		• No change • Wing D: Construction completed up to 18 th floor (RCC work). • Wing E & F: Construction completed up to 18 th floor.
Club house: Ground + 1 st Floor	Club house: Ground : 1 st Floor		• No change • Construction not started
--	Parking Tower: 15 Level Parking		• Parking tower with 30 nos. of parking spaces proposed now • Construction not started
Occupancy (Nos.)	5104	5387	Proposed increase by 283 nos. due to increase in 72 nos. of flats of Wing G
Water Requirement (KLD)	695	730	Proposed increase in 35 KLD due to increase in occupancy
Sewage Generation (KLD)	593	626	Proposed increase by 33 KLD due to increase in water requirement
Solid waste Generation (Kg/day)	2277	2405	Proposed increase in 128 Kg/day due to increase occupancy

3. Proposal is an expansion of existing construction project. Project had received 1st EC vide letter No. SEIAA-EC-0000000608, dated: 15.01.2019 and 2nd amended EC vide letter No. SEIAA-EC-0000002250, dated: 26.03.2020 for the plot area of 9,761.08 Sq. Mtrs, FSI area of 21,846.82 Sq. Mtrs & Total Construction area of 35,589.87 Sq. Mtrs. Proposal has been considered by SEIAA in its 24th (Day-2) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

1. PP to submit (OD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions thereunder as per the circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain & submit following NOCs as per latest amended plan: a) Sewer Connection; b) SWD NOC.
3. PP to submit certified six-monthly compliance report of earlier EC from Regional Office, MOEF&CC, Nagpur.

4. PP to reduce discharge of treated sewage up to 35%. PP to submit undertaking from concerned authority/agency/third party regarding use of excess treated water.
5. PP to relocate parking shown over Rehab STP.

B. SEIAA Conditions-

1. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
2. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
3. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide E.No.22-34/2018-LA/JII dt.04.01.2019.
4. SEIAA after deliberation decided to grant EC for – FSI-39099.11 m², Non FSI-25620.39 m² and total BUA-64719.50 m². (Plan approval No.SRA/ENG/2931/PN/PL/LOI dated-28.11.2019).

General Conditions:

a) Construction Phase :-

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.

- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XVII. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVIII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XIX. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done.

Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water. Local authority should ensure this.

- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (E.Vs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
- XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in
- XII. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
- XIII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIV. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient

location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.
 - II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
 - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance
 - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
 - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
 - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
7. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid

as per EIA Notification, 2006, amended from time to time.

8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


Manisha Patankar, Whilaskar
(Member Secretary, SEIAA)
14/9/2022

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Mumbai Suburban.
6. Commissioner, Municipal Corporation of Greater Mumbai
7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.

Signature Not Verified

Digitally signed by Manisha
Patankar Mhaiskar
Member Secretary

Date: 8/18/2022 6:19:53 AM